



# ARTICLE 7. URBAN CENTER (C-) NEIGHBORHOOD CONTEXT

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## ARTICLE 7. URBAN CENTER (C-) NEIGHBORHOOD CONTEXT

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## DIVISION 7.1 NEIGHBORHOOD CONTEXT DESCRIPTION



### SECTION 7.1.1 GENERAL CHARACTER

The Urban Center Neighborhood Context consists of multi-unit residential and mixed-use commercial strips and commercial centers. Multi-unit residential uses are typically in multi-story mixed use building forms. Commercial buildings are typically Shopfront and General forms. Multi-unit residential uses are primarily located along residential collector, mixed-use arterial, and local streets. Commercial uses are primarily located along main and mixed-use arterial streets.

### SECTION 7.1.2 STREET, BLOCK AND ACCESS PATTERNS

The Urban Center Neighborhood Context consists of a regular pattern of block shapes surrounded by an orthogonal street grid. Orthogonal streets provide a regular pattern of pedestrian and vehicular connections through this context and there is a consistent presence of alleys. Block sizes and shapes are consistent and include detached sidewalks, tree lawns, street and surface parking, and landscaping in the front setback

### SECTION 7.1.3 BUILDING PLACEMENT AND LOCATION

All building typically have consistent orientation and shallow front setbacks with parking at the rear and/or side of the building.

### SECTION 7.1.4 BUILDING HEIGHT

The Urban Center Neighborhood Context is characterized by moderate to high building heights to promote a dense urban character. Lower scale structures are typically found in areas transitioning to a less dense urban neighborhood.

### SECTION 7.1.5 MOBILITY

There are high levels of pedestrian and bicycle use with the greatest access to multi-modal transportation system.

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## DIVISION 7.2 DISTRICTS (C-MX, C-RX, C-MS, C-CCN)

### SECTION 7.2.1 DISTRICTS ESTABLISHED

To carry out the provisions of this Article, the following zone districts have been established in the Urban Center Neighborhood Context and are applied to property as set forth on the Official Map.

#### Urban Center Neighborhood Context

C-MX-3	Mixed Use 3
C-MX-5	Mixed Use 5
C-MX-8	Mixed Use 8
C-MX-12	Mixed Use 12
C-MX-16	Mixed Use 16
C-MX-20	Mixed Use 20
C-RX-5	Residential Mixed Use 5
C-RX-8	Residential Mixed Use 8
C-RX-12	Residential Mixed Use 12
C-MS-5	Main Street 5
C-MS-8	Main Street 8
C-MS-12	Main Street 12
C-CCN-3	Cherry Creek North 3
C-CCN-4	Cherry Creek North 4
C-CCN-5	Cherry Creek North 5
C-CCN-7	Cherry Creek North 7
C-CCN-8	Cherry Creek North 8
C-CCN-12	Cherry Creek North 12

### SECTION 7.2.2 MIXED USE DISTRICTS (C-MX-3, -5, -8, -12, -16, -20)

#### 7.2.2.1 General Purpose

- A. The Mixed Use zone districts are intended to promote safe, active, and pedestrian-scaled, diverse areas through the use of building forms that clearly define and activate the public street edge.
- B. The Mixed Use zone districts are intended to enhance the convenience, ease and enjoyment of transit, walking, shopping and public gathering within and around the city's neighborhoods.
- C. The Mixed Use zone district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, and improves the transition between commercial development and adjacent residential neighborhoods.
- D. Compared to the Main Street districts, the Mixed Use districts are focused on creating mixed, diverse neighborhoods. Where Main Street districts are applied to key corridors and retail streets within a neighborhood, the Mixed Use districts are intended for broader application at the neighborhood scale.
- E. In the Urban Center Neighborhood Context, the Mixed Use zone districts require the same level of pedestrian enhancements as the Main Street zone districts. In the Urban Center Neighborhood Context, the primary difference between the Mixed Use zone districts and the Main Street zone districts is Main Street districts mandate shopfront buildings at the street edge.
- F. Mixed use buildings have a shallow front setback range. The build-to requirements are high.

### 7.2.2.2 Specific Intent

**A. Mixed Use – 3 (C-MX-3)**

C-MX-3 applies to areas or intersections served primarily by local or collector streets where a building scale of 1 to 3 stories is desired.

**B. Mixed Use – 5 (C-MX-5)**

C-MX-5 applies to areas or intersections served primarily by collector or arterial streets where a building scale of 1 to 5 stories is desired.

**C. Mixed Use – 8 (C-MX-8)**

C-MX-8 applies to areas or intersections served primarily by arterial streets where a building scale of 2 to 8 stories is desired.

**D. Mixed Use – 12 (C-MX-12)**

C-MX-12 applies to areas or intersections served primarily by major arterial streets where a building scale of 3 to 12 stories is desired.

**E. Mixed Use – 16 (C-MX-16)**

C-MX-16 applies to areas or intersections served primarily by major arterial streets where a building scale of 3 to 16 stories is desired.

**F. Mixed Use – 20 (C-MX-20)**

C-MX-20 applies to areas or intersections served primarily by major arterial streets where a building scale of 3 to 20 stories is desired.

## SECTION 7.2.3 RESIDENTIAL MIXED USE DISTRICTS (C-RX-5, -8, -12)

### 7.2.3.1 General Purpose

- A. The Residential Mixed Use zone districts are intended to promote safe, active, and pedestrian-scaled, diverse areas through the use of building forms that clearly define and activate the public realm.
- B. The Residential Mixed Use zone districts are intended to enhance the convenience, ease and enjoyment of transit, walking, shopping and public gathering within and around the city's residential neighborhoods.
- C. The Residential Mixed Use zone district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, and improves the transition between commercial development and adjacent residential neighborhoods.
- D. Compared to the Mixed Use districts, the Residential Mixed Use districts are primarily intended to accommodate residential uses. Commercial uses are secondary to the primary residential use of the district, and provide neighborhood-scaled shops and offices for residents to conveniently access goods and services within walking distance. Buildings in a Residential Mixed Use district can have Street Level retail uses, but upper stories are reserved exclusively for housing or lodging accommodation uses. A building can be solely residential or solely commercial; however, buildings containing only commercial uses are limited in total gross floor area to 10,000 square feet consistent with the district purpose.

### 7.2.3.2 Specific Intent

**A. Residential Mixed Use 5 (C-RX-5)**

C-RX-5 applies to residentially-dominated areas served primarily by local or collector streets where a building scale of 2 to 5 stories is desired.

**B. Residential Mixed Use 8 (C-RX-8)**

C-RX-8 applies to residentially-dominated areas served primarily by collector or arterial streets where a building scale of 2 to 8 stories is desired.

**C. Residential Mixed Use 12 (C-RX-12)**

C-RX-12 applies to residentially-dominated areas served primarily by arterial streets where a building scale of 2 to 12 stories is desired.

**SECTION 7.2.4 MAIN STREET DISTRICTS (C-MS-5, -8 -12)**

**7.2.4.1 General Purpose**

- A. The Main Street zone districts are intended to promote safe, active, and pedestrian-scaled commercial streets through the use of building forms that clearly define and activate the public street edge.
- B. The Main Street zone districts are intended to enhance the convenience, ease and enjoyment of transit, walking, shopping and public gathering along the city's commercial streets.
- C. The Main Street district standards are also intended to ensure new development contributes positively to established residential neighborhoods and character, and improves the transition between commercial development and adjacent residential neighborhoods.
- D. Main Street zone districts are typically applied linearly along entire block faces of commercial, industrial, main, mixed-use and residential arterial streets (as designated in Blueprint Denver) or, less frequently, on single zone lots at the intersection of local/collector streets within a residential neighborhood.
- E. In the Urban Center Neighborhood Context, the Main Street zone districts should be applied where active Street Level retail is desired.
- F. In the Urban Center Neighborhood Context, the Main Street zone districts may also be embedded within a larger commercial shopping center or mixed-use area to promote Street Level retail activity.
- G. Main Street buildings have a shallow front setback range. The build-to requirements are high.

**7.2.4.2 Specific Intent**

**A. Main Street 5 (C-MS-5)**

C-MS-5 applies primarily to collector or arterial street corridors, or may be embedded within a larger commercial shopping center or mixed-use area, where a building scale of 2 to 5 stories is desired.

**B. Main Street 8 (C-MS-8)**

C-MS-8 applies primarily to arterial street corridors, or may be embedded within a larger commercial shopping center or mixed-use area, where a building scale of 2 to 8 stories is desired.

**C. Main Street 12 (C-MS-12)**

C-MS-12 applies primarily to arterial street corridors, or may be embedded within a larger commercial shopping center or mixed-use area, where a building scale of 2 to 12 stories is desired.

## **SECTION 7.2.5 CHERRY CREEK NORTH DISTRICTS (C-CCN-3, -4, -5, -7, -8, -12)**

### **7.2.5.1 General Purpose**

- A. The C-CCN zone districts are specifically tailored Urban Center zone districts that promote development compatible with the character of the Cherry Creek North mixed use shopping district. The C-CCN zone districts encourage interesting and attractive architectural design solutions for new developments and promote pedestrian and shopping activities, particularly at Street Level.
- B. Compared to the Mixed Use or Main Street zone districts, the C-CCN zone districts are better tailored to the unique character and scale of Cherry Creek North. The C-CCN zone districts promote an enhanced pedestrian-oriented environment through features such as larger primary street setbacks, open space incentives, and building forms that allow light and views between buildings. Where Main Street zone districts are applied to key corridors and retail streets, and the Mixed Use zone districts are intended for broader application at the neighborhood scale, the C-CCN zone districts are intended for specific application in the Cherry Creek North mixed use shopping district area.
- C. The C-CCN zone districts promote the following goals:
  - 1. Retain and enhance Cherry Creek North's unique physical character;
  - 2. Make reinvestment economically viable in the entire district;
  - 3. Encourage small lot reinvestment;
  - 4. Transition from higher buildings along 2nd Avenue to lower buildings along 3rd Avenue;
  - 5. Create height transition from the business district to adjacent residential;
  - 6. Retain sunlight on streets and views between buildings;
  - 7. Prevent the creation of walled or monolithic streets; and
  - 8. Encourage active storefronts and active Street Level uses.

### **7.2.5.2 Specific Intent**

- A. Cherry Creek North – 3 (C-CCN-3)**  
C-CCN-3 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by local, collector, or arterial streets where a building scale of 1 to 3 stories is desired.
- B. Cherry Creek North – 4 (C-CCN-4)**  
C-CCN-4 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by local, collector, or arterial streets where a building scale of 1 to 4 stories is desired.
- C. Cherry Creek North – 5 (C-CCN-5)**  
C-CCN-5 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by local, collector, or arterial streets where a building scale of 1 to 5 stories is desired.
- D. Cherry Creek North – 7 (C-CCN-7)**  
C-CCN-7 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by local, collector, or arterial streets where a building scale of 1 to 7 stories is desired.

**E. Cherry Creek North – 8 (C-CCN-8)**

C-CCN-8 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by collector or arterial streets where a building scale of 1 to 8 stories is desired.

**F. Cherry Creek North – 12 (C-CCN-12)**

C-CCN-12 applies in the Cherry Creek North mixed use shopping district to areas or intersections served primarily by major arterial streets where a building scale of 1 to 12 stories is desired.

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## **DIVISION 7.3 DESIGN STANDARDS**

The following Intent Statements are intended to provide further information regarding intent and performance expectations for the district, site and building design standards.

### **SECTION 7.3.1 GENERAL INTENT**

The Intent of this Division 7.3 Design Standards are to:

- 7.3.1.1 Implement the Denver Comprehensive Plan.
- 7.3.1.2 Implement the zone district's Intent and Purpose
- 7.3.1.3 To continue Denver's physical character, including access to parks and parkways, tree lined streets, detached sidewalks, interconnected street networks, and convenient access to parks, open space, and transit.
- 7.3.1.4 Improve compatibility with and respect for the existing character and context of Denver and its neighborhoods.
- 7.3.1.5 Arrange building density, uses, heights, and scaling devices to reinforce the public transit centers and corridors, and to transition to adjoining areas.
- 7.3.1.6 Give prominence to pedestrian realm as a defining element of neighborhood character.
- 7.3.1.7 Spatially define public streets and their associated open space as positive, usable features around which to organize and orient buildings in a manner that promotes pedestrian activity, a sense of security and community.
- 7.3.1.8 Provide human scale in buildings through use of detail, contrast, form, window and door placement, color and materials.
- 7.3.1.9 Provide easily identifiable pedestrian connections between private development, public rights of way and multiple modes of transit.
- 7.3.1.10 Configure the site so that a clear, safe, and attractive pedestrian system, with the transit facility as a component, is the primary public element to which buildings are oriented.
- 7.3.1.11 Arrange residential, employment, retail, service, and open space uses to be convenient to and compatible with each other and with transit.
- 7.3.1.12 Maximize pedestrian amenities near transit facilities and along the primary pedestrian connections to transit facilities.

### **SECTION 7.3.2 BUILDING FORM INTENT**

#### **7.3.2.1 Height**

- A. Encourage buildings whose forms are responsive to the surrounding context, including opportunities to reinforce existing and evolving nodes of mixed-use, pedestrian and transit activities.
- B. Arrange building heights, and scaling devices to provide transitions to adjoining areas.

#### **7.3.2.2 Siting**

- A. Required Build-To
  - 1. Provide a consistent street edge to enhance character of the context.
  - 2. Define streets to promote pedestrian activity and sense of place.
  - 3. Reinforce the character and quality of public streets with buildings that provide consistent siting, pedestrian orientation and access to the street.

B. Setbacks

1. Site buildings to be consistent with the intended character and functional requirements of the urban context.
2. Site buildings to define the street edge/public realm consistent with the context.
3. Utilize buildings to create positive transitions between districts.

C. Parking Location

1. Minimize the visual impacts of parking areas on streets and adjoining property.
2. Minimize conflicts between pedestrian and vehicles.

**7.3.2.3 Design Elements**

A. Building Configuration

1. Promote variation in building form that enhances access to daylight, air and views from within and around new structures.
2. Encourage variation in building form that provides opportunities for architectural scale relationships in large building contexts.
3. Main Street setback: Reinforce the proportional scale of buildings to street width in order to establish a strong edge to Main Streets and other urban street corridors..
4. Arrange building heights, and scaling devices to provide transitions to adjoining areas.

B. Transparency

1. Maximize transparency of windows at Street Level to activate the street.
2. Utilize doors and windows to establish scale, variation, and patterns on building facades that provide visual interest and reflect the uses within the building.
3. Limit the use of highly reflective glass to avoid reflected glare onto neighboring streets and properties.

C. Entrances

1. Give prominence to pedestrian realm as a defining element of neighborhood character.
2. Provide convenient access to buildings and active uses from the street. Articulate and create a visual hierarchy of building entrances as an aid in way-finding.
3. Provide a positive relationship to the street through access, orientation and placement consistent with the context.
4. Create visually interesting and human-scaled facades.

**7.3.2.4 Specific Building Form Intent**

**A. Commercial Mixed Use Zone Districts**

**1. Town House**

Establish standards for buildings containing Side-by-side Dwelling Units that requires Dwelling Units located near the street to be Oriented to the Street. Additional Dwelling Units are permitted behind the Dwelling Units Oriented to the Street. Accommodates Two Unit and Multi-Unit Dwelling development.

**2. Drive Thru Services**

To allow more flexible design standards to accommodate unique circumstances of automobile service uses and primary uses with an accessory drive-thru lane. Specifically, allow a reduced build-to percentage and increased build-to range.

**3. Drive Thru Restaurant**

To allow more flexible design standards to accommodate unique circumstances of eating/drinking establishments with an accessory drive-thru lane. Specifically, allow corner lots a reduced build-to percentage on the Primary Street when the build-to percentage is increased along the Side Street.

**4. General**

Establish a set of standards to define and activate the street. The building form requires a minimum of one pedestrian Entrance at the street, in addition to other design elements that promote an active street front. The building form allows for a variety of site configurations, but does not allow structures containing mostly Side-by-Side Dwelling Units. All uses are allowed.

**5. Shopfront**

Establish a set of standards to define and activate the street. The building form requires a minimum of one pedestrian Entrance at the street, in addition to other design elements that promote an active street front. The building form allows for a variety of site configurations, but does not allow structures containing mostly Side-by-Side Dwelling Units. Compared to the General building form, the Shopfront building form has increased standards for design elements such as transparency, active use and build-to. All uses are allowed.

**B. Cherry Creek North Zone Districts**

**1. Cherry Creek General**

To establish the base set of standards for the zone district from which all other building forms deviate for specific situations.

**2. Cherry Creek General - Small Lot on South Side of 3rd Ave**

To allow more flexible design standards for zone lots sized 6,250 SF and less that are located on the south side of 3rd Avenue and that exist as of October 27, 2014, in order to encourage small lot reinvestment. Specifically, allow building forms that do not fully comply with the 3rd Avenue CCN Solar Access Bulk Plane.

**3. Cherry Creek Open Space**

To establish a building form that encourages the provision of Private Open Space. In exchange for providing Private Open Space, buildings are exempt from the Mass Reduction that applies to the Cherry Creek General building form.

**4. Cherry Creek Open Space - Small Lot on the South Side of 3rd Ave**

To establish a building form that encourages the provision of Private Open Space on 3rd Avenue and that allows for more flexible design standards for zone lots sized 9,375 SF and less that are located on the south side of 3rd Avenue and that exist as of October 27, 2014, in order to encourage small lot reinvestment. Specifically, allow building forms that do not comply with the 3rd Avenue CCN Bulk Plane in exchange for providing Private Open Space.

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## SECTION 7.3.3 PRIMARY BUILDING FORM STANDARDS

### 7.3.3.1 Applicability

All development, except detached accessory structures, in all the Urban Center Neighborhood Context zone districts

### 7.3.3.2 General Standards

- A. Combining standards from different building forms for the same structure is prohibited, except where expressly allowed.
- B. At an applicant's request, a primary structure with an existing assigned building form may be assigned a different permitted building form if:
  - 1. The structure fully conforms with all applicable standards of the new building form; or,
  - 2. The existing assigned building form is no longer a permitted form in the applicable zone district.

### 7.3.3.3 District Specific Standards Summary

The maximum number of structures per zone lot and building forms allowed by zone district is summarized below:

Urban Center (C-) Neighborhood Context Zone Districts		Building Forms															
		Suburban House	Urban House	Duplex	Tandem House	Row House	Garden Court	Town House	Apartment	Drive Thru Services	Drive Thru Restaurant	General	Cherry Creek General	Cherry Creek General - Small Lot on South Side of 3rd Ave	Cherry Creek Open Space	Cherry Creek Open Space - Small Lot on South Side of 3rd Ave	Shopfront
Max Number of Primary Structures per Zone Lot		No Maximum															
Residential Mixed Use (RX)	C-RX-5, -8, -12						■					■					
Mixed Use (MX)	C-MX-3, -5, -8, -12, -16, -20						■		□	□	■						■
Main Street (MS)	C-MS-5, -8, -12						■		□	□							■
Cherry Creek North (CCN)	C-CCN-3, -4, -5											■	■	■	■		
	C-CCN-7, -8, -12											■		■			

■ = Allowed □ = Allowed subject to geographic limitations

### 7.3.3.4 District Specific Standards

#### A. Town House

*Not to Scale. Illustrative Only.*



## TOWN HOUSE

<b>HEIGHT</b>		C-MX-3	C-MX-5, -8, -12, -16, -20	C-RX-5, -8, -12	C-MS-5, -8, -12
A	Stories (max)	3	5	5	5
A	Feet (min/max)	na/38'	na/70'	na/70'	24'/70'

<b>SITING</b>		C-MX-3	C-MX-5, -8, -12, -16, -20	C-RX-5, -8, -12	C-MS-5, -8, -12
<b>REQUIRED BUILD-TO</b>					
B	Primary Street (min build-to % within min/max range)	70%	70%	70%	75%
		10'/15'	10'/15'	10'/15'	10'/15'
	Side Street (min build-to % within min/max range)	na	na	na	25%
					7.5'/15'
<b>SETBACKS</b>					
C	Primary Street (min)	10'	10'	10'	10'
D	Side Street (min)	7.5'	7.5'	7.5'	7.5'
E	Side Interior (min)	5'	5'	5'	5'
F	Side Interior, adjacent to Protected District (min)	10'	10'	10'	10'
	Rear (min)	0'	0'	0'	0'
	Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'	0'/10'	0'/10'
<b>PARKING</b>					
	Surface Parking between building and Primary Street/Side Street	Not Allowed/Not Allowed			
	Vehicle Access	From Alley; or Street access allowed when no Alley present			

<b>DESIGN ELEMENTS</b>		C-MX-3	C-MX-5, -8, -12, -16, -20	C-RX-5, -8, -12	C-MS-5, -8, -12
<b>BUILDING CONFIGURATION</b>					
G	Dwelling Units Oriented to the Street	Required if any portion of the Dwelling Unit is located within 20' of Primary Street Zone Lot Line or 20' of the Side Street Zone Lot Line.			
	Dwelling Unit Configuration	Structure may contain Side-by-Side Dwelling Units			
H	Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	15'/25'	20'/25'	20'/25'	20'/25'
	Upper Story Setback Above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	35'/40'	35'/40'	35'/40'
<b>STREET LEVEL ACTIVATION</b>					
I	Transparency, Primary Street (min)	40%	40%	40%	40%
	Transparency, Side Street (min)	25%	25%	25%	25%
J	Pedestrian Access	Each Dwelling Unit Oriented to the Street shall have Dwelling Unit Entrance with Entry Feature.			
<b>USES</b>		All C-MX	All C-RX	All C-MS	
	Street Level Active Uses (min % of Primary Street front-age meeting Build-To requirement)	100%	na	100%	
	Permitted Primary Uses	Primary Uses shall be limited to Two Unit Dwelling and Multi Unit Dwelling (3+) uses. See Division 7.4 Uses and Parking			

See Sections 7.3.5 - 7.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

### B. Drive Thru Services

Not to Scale. Illustrative Only.

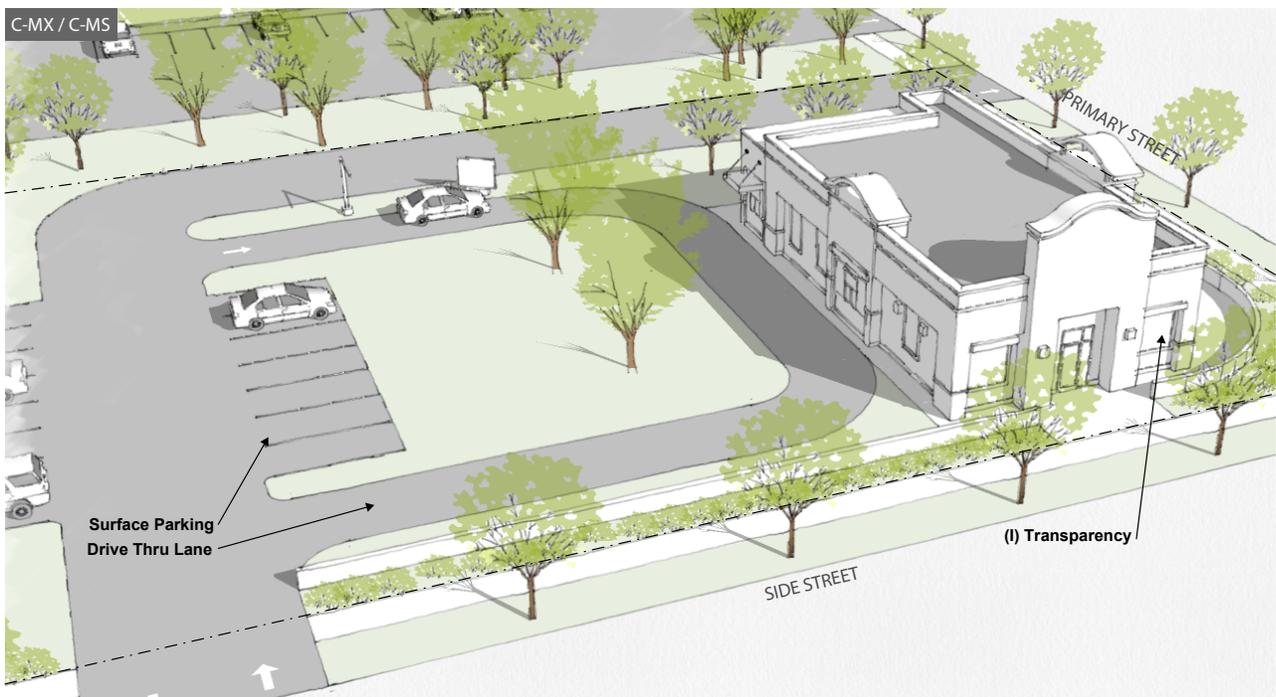


## DRIVE THRU SERVICES

<b>APPLICABILITY</b>		<b>All C-MX, C-MS</b>	
Form is not permitted on Zone Lots within 1/4 mile of the outer boundary of a Rail Transit Station Platform			
<b>HEIGHT</b>		<b>All C-MX, C-MS</b>	
A	Stories (max)	3	
A	Feet (max)	45'	
<b>SITING</b>		<b>All C-MS</b>	<b>All C-MX</b>
<b>REQUIRED BUILD-TO</b>			
B	Primary Street (min % within min/max)*	50% 0'/15'	50% 0'/15'
C	Side Street (min % within min/max)*	50% 0'/15'	50% 0'/15'
<b>SETBACKS</b>			
D	Primary Street (min)	0'	0'
E	Side Street (min)	0'	0'
F	Side Interior (min)	0'	0'
	Side Interior, adjacent to Protected District (min)	10'	10'
G	Rear, alley and no alley (min)	0'	0'
	Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'
<b>PARKING</b>			
	Surface Parking between building and Primary Street/ Side Street	Not Allowed/Not Allowed	
	Surface Parking Screening Required	See Article 10, Division 10.5	
	Vehicle Access	Shall be determined as part of Site Development Plan Review	
<b>DESIGN ELEMENTS</b>		<b>All C-MS</b>	<b>All C-MX</b>
<b>BUILDING CONFIGURATION</b>			
H	*Canopy	Building shall be used to meet a portion of the Primary and Side Street Build-To. Canopy may be used to meet a portion of the Primary and Side Street Build-To	
I	Screening Required	Garden Wall required within 0'/15' for 100% of the Primary and Side Street, excluding access points and portions of building within 0'/15', following the standards of Article 10, Section 10.5.4.4	
	Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side, interior (min)	15'/25'	15'/25'
<b>STREET LEVEL ACTIVATION</b>			
J	Transparency, Primary Street (min)	60%	40%
K	Transparency, Side Street (min)	25%	25%
L	Pedestrian Access, Primary Street	Entrance	Entrance
<b>USES</b>		<b>All C-MS</b>	<b>All C-MX</b>
For Primary Structures constructed on or before June 25, 2010, all permitted Primary Uses shall be allowed within this building form; however, for Primary Structures constructed after June 25, 2010, Primary Uses shall be limited to Automobile Services, Light and/or Primary Use with Accessory Drive Thru Use, excluding Eating & Drinking Establishments. See Division 7.4 Uses and Required Minimum Parking			

### C. Drive Thru Restaurant

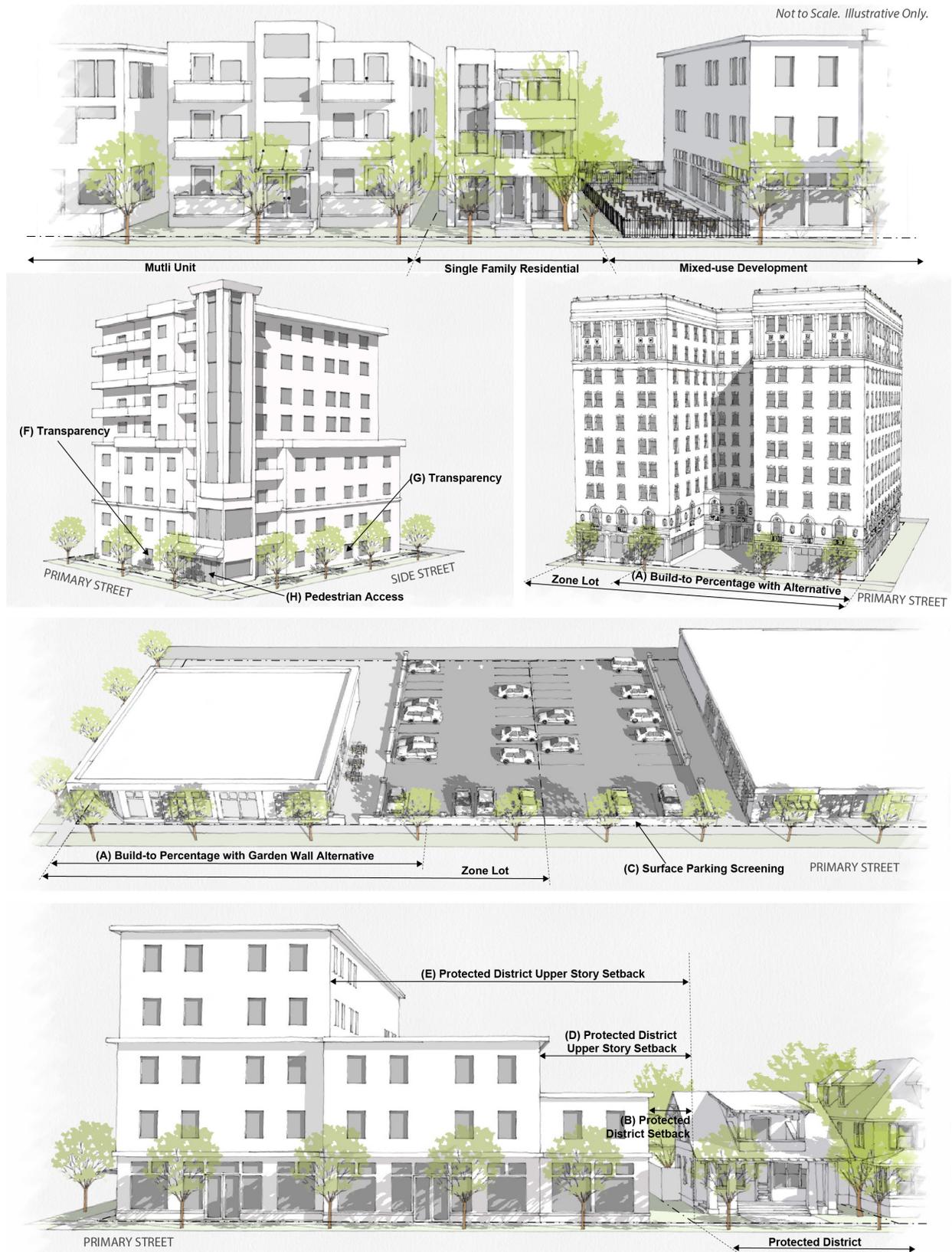
Not to Scale. Illustrative Only.



## DRIVE THRU RESTAURANT

<b>APPLICABILITY</b>		<b>All C-MX, C-MS</b>	
Form is not permitted on Zone Lots within 1/4 mile of the outer boundary of a Rail Transit Station Platform			
<b>HEIGHT</b>		<b>All C-MX</b>	<b>All C-MS</b>
<b>A</b>	Stories (max)	3	3
<b>A</b>	Feet (max)	45'	45'
<b>SITING</b>		<b>All C-MX</b>	<b>All C-MS</b>
<b>REQUIRED BUILD-TO</b>			
<b>B</b>	Primary Street (min % within min/max)	Corner Lots: 50% 0'/10' All other: 70% 0'/10'	Corner Lots: 50% 0'/5' All other: 75% 0'/5'
<b>C</b>	Side Street (min % within min/max)	50% 0'/10'	50% 0'/5'
<b>SETBACKS</b>			
<b>D</b>	Primary Street (min)	0'	0'
<b>E</b>	Side Street (min)	0'	0'
<b>F</b>	Side Interior (min)	0'	0'
	Side Interior, adjacent to Protected District (min)	10'	10'
<b>G</b>	Rear, alley and no alley (min)	0'	0'
	Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'
<b>PARKING</b>			
	Surface Parking between building and Primary Street/ Side Street	Not Allowed/Not Allowed	
	Drive Thru Lane between building and Primary Street/ Side Street	Not Allowed/Not Allowed	
	Vehicle Access	Shall be determined as part of Site Development Plan Review	
<b>DESIGN ELEMENTS</b>		<b>All C-MX</b>	<b>All C-MS</b>
<b>BUILDING CONFIGURATION</b>			
	Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	15'/25'	15'/25'
<b>STREET LEVEL ACTIVATION</b>			
<b>H</b>	Transparency, Primary Street (min)	40%	60%
<b>I</b>	Transparency, Side Street (min)	25%	25%
<b>J</b>	Pedestrian Access, Primary Street	Entrance	Entrance
<b>USES</b>		<b>All C-MX</b>	<b>All C-MS</b>
For Primary Structures constructed on or before June 25, 2010, all permitted Primary Uses shall be allowed within this building form; however, for Primary Structures constructed after June 25, 2010, Primary Uses shall be limited to an Eating & Drinking Establishment Primary Use with Accessory Drive Thru Use Only. See Division 7.4 Uses and Required Minimum Parking.			

**D. General**



## GENERAL

<b>HEIGHT</b>						
	C-MX-3	C-RX-5 C-MX-5	C-RX-8 C-MX-8	C-RX-12 C-MX-12	C-MX-16	C-MX-20
Stories (max)	3	5	8	12	16	20
Feet (max)	45'	70'	110'	150'	200'	250'
Feet, within 175' of Protected District (max)	na	na	75'	75'	75'	75'

<b>SITING</b>						
	C-MX-3	C-RX-5 C-MX-5	C-RX-8 C-MX-8	C-RX-12 C-MX-12	C-MX-16	C-MX-20

### REQUIRED BUILD-TO

<b>A</b> Primary Street (min build-to % within min/max range)	70% 0'/10' Residential Only Buildings: 0'/15'
---	--

### SETBACKS

Primary Street (min)	0'
Side Street (min)	0'
Side Interior (min)	0'
<b>B</b> Side Interior, adjacent to Protected District (min)	10'
Rear, alley and no alley (min)	0'
Rear, adjacent to Protected District, alley/no alley (min)	0'/10'

### PARKING

Surface Parking between building and Primary Street/Side Street	Not Allowed/Not Allowed
<b>C</b> Surface Parking Screening Required	See Article 10, Division 10.5
Vehicle Access	Shall be determined as part of Site Development Plan Review

<b>DESIGN ELEMENTS</b>						
	C-MX-3	C-RX-5 C-MX-5	C-RX-8 C-MX-8	C-RX-12 C-MX-12	C-MX-16	C-MX-20

### BUILDING CONFIGURATION

Dwelling Unit Configuration	Structure may contain Side-by-Side Dwelling Units Residential Only Structure: Side-by-Side Dwelling Units shall not exceed 50% of the Structure's GFA					
<b>D</b> Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	15'/25'	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'
<b>E</b> Upper Story Setback Above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	35'/40'	35'/40'	35'/40'	35'/40'	35'/40'

### STREET LEVEL ACTIVATION

<b>F</b> Transparency, Primary Street (min)	40%
<b>G</b> Transparency, Side Street (min)	25%
<b>H</b> Pedestrian Access, Primary Street	Entrance

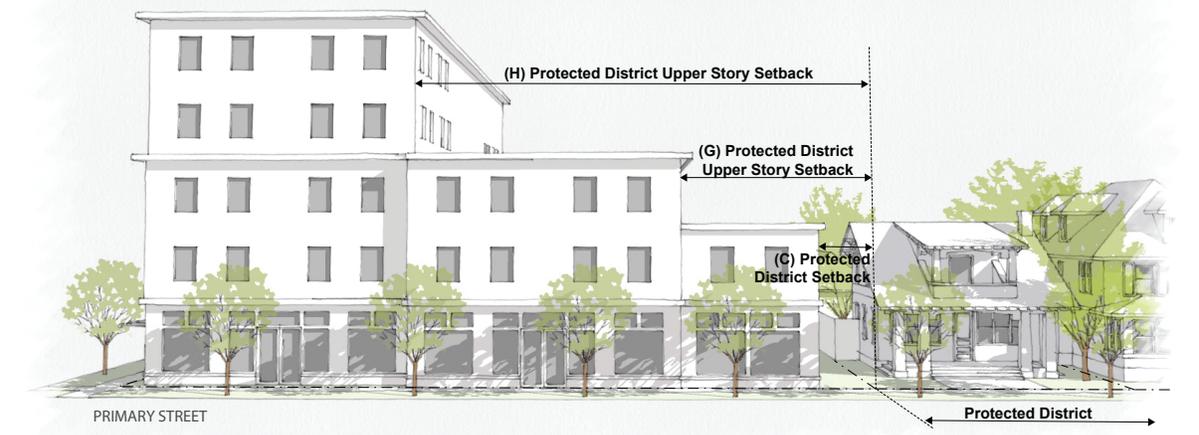
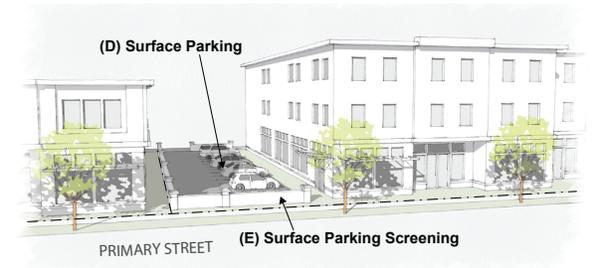
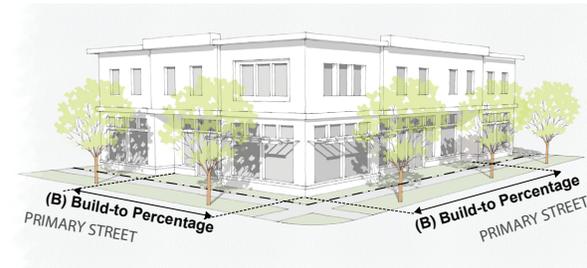
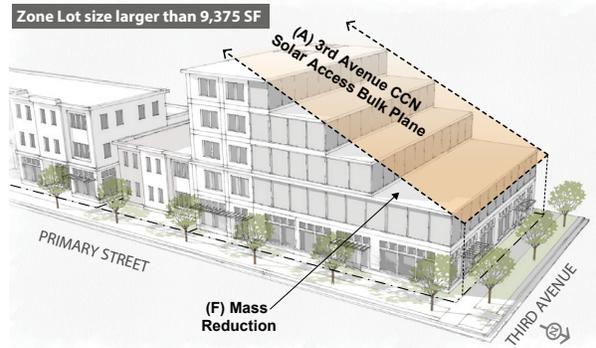
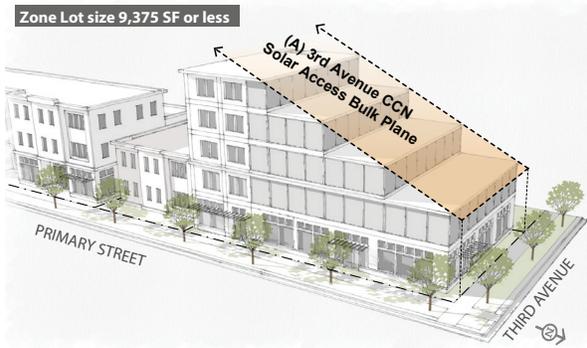
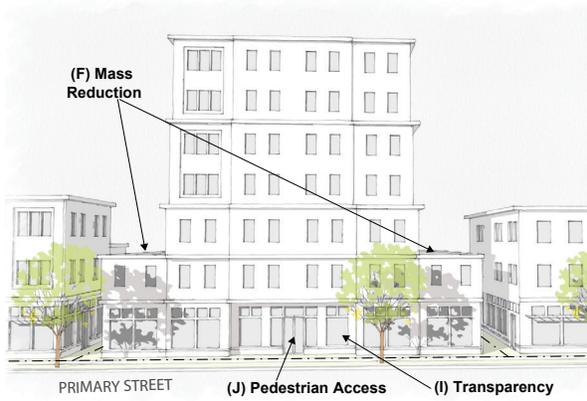
### USES

	All C-MX	All C-RX
Street Level Active Uses (min % of Primary Street front-age meeting Build-To requirement)	100%	na

Permitted Primary Uses	All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking.	All permitted Primary Uses shall be allowed within this building form; however: (1) Second Story and Above: Residential or Lodging Accommodations uses only; and (2) Buildings with No Residential or Lodging Accommodation Uses: 10,000 sf GFA max
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See Sections 7.3.5 - 7.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

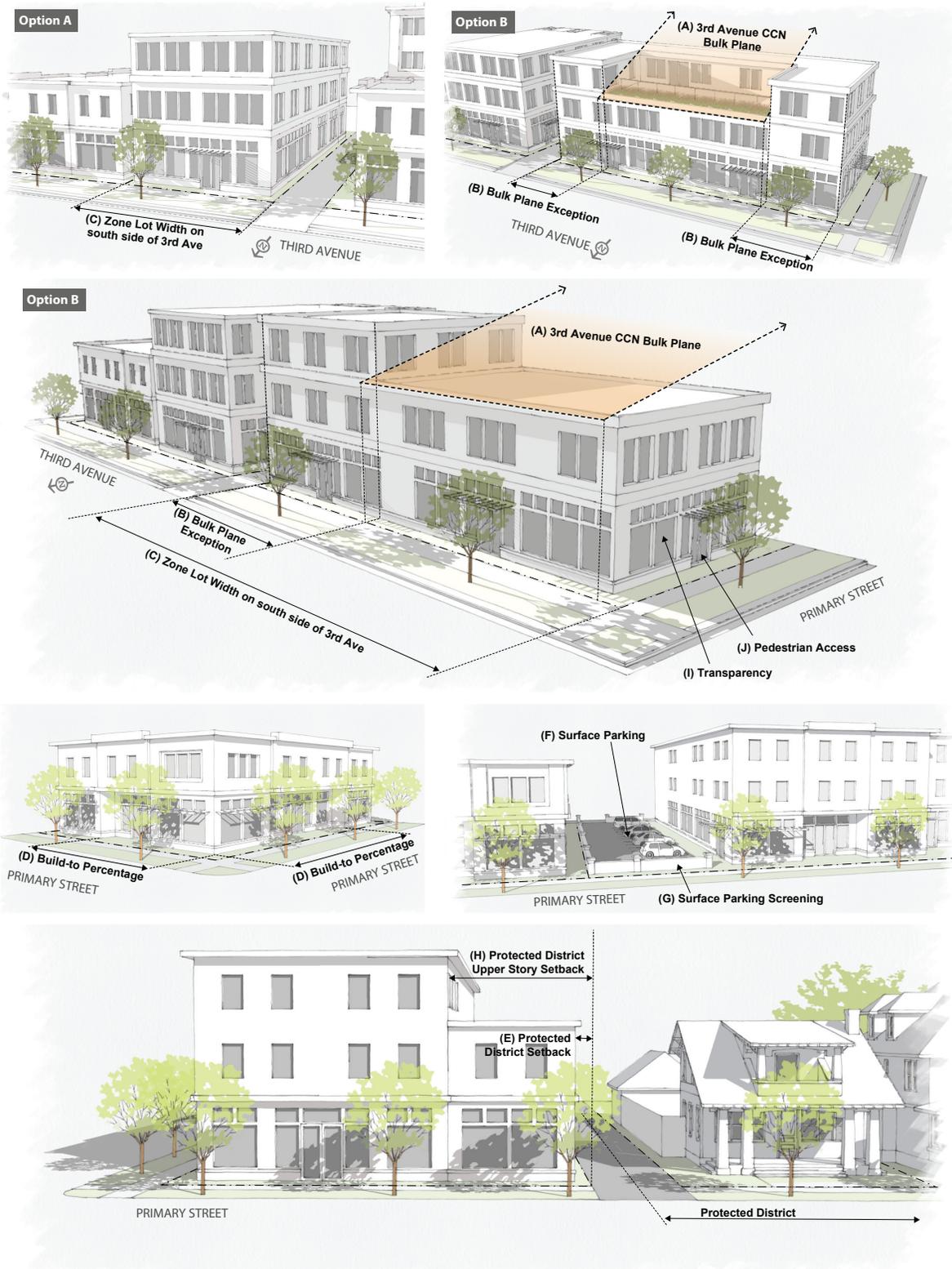
**E. Cherry Creek General**



## CHERRY CREEK GENERAL

<b>HEIGHT</b>		C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
	Stories (max)	3	4	5	7	8	12
	Feet (max)	45'	57'	70'	96'	110'	150'
<b>A</b>	3rd Avenue CCN Bulk Plane Applies (see Article 13, Division 13.1)	Yes	Yes	Yes	Yes	Yes	Yes
	Height Exceptions	See Section 7.3.7.1					
<b>SITING</b>		C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
<b>REQUIRED BUILD-TO</b>							
<b>B</b>	Primary Street (% within min/max)	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'
<b>SETBACKS</b>							
	Primary Street (min)	5'	5'	5'	5'	5'	5'
	Side Interior (min)	0'	0'	0'	0'	0'	0'
<b>C</b>	Side Interior, adjacent to Protected District (min)	10'	10'	10'	10'	10'	10'
	Rear, alley and no alley (min)	0'	0'	0'	0'	0'	0'
	Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'	0'/10'	0'/10'	0'/10'	0'/10'
	Setback Exceptions and Encroachments	See Sections 7.3.7.3 and 7.3.7.4					
<b>PARKING</b>							
<b>D</b>	Surface Parking between building and Primary Street	Not Allowed					
<b>E</b>	Surface Parking Screening Required	See Article 10, Division 10.5					
	Vehicle Access	See Section 7.3.5.3					
<b>DESIGN ELEMENTS</b>		C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
<b>BUILDING CONFIGURATION</b>							
<b>F</b>	Mass Reduction where Zone Lot Size is greater than 9,375 square feet (min)	25%	25%	25%	25%	25%	25%
	Mass Reduction where Zone Lot Size is 9,375 square feet or less, as of October 27, 2014 (min)	na	na	na	na	na	na
<b>G</b>	Upper Story Setback Above 27'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'
<b>H</b>	Upper Story Setback Above 51'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	35'/40'	35'/40'	35'/40'	35'/40'	35'/40'
<b>STREET LEVEL ACTIVATION</b>							
<b>I</b>	Transparency, Primary Street (min)	60%					
<b>J</b>	Pedestrian Access, min 1 per building	Entrance					
<b>USES</b>		All C-CCN					
All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking							

**F. Cherry Creek General - Small Lot on South Side of 3rd Ave**



## CHERRY CREEK GENERAL - SMALL LOT ON SOUTH SIDE OF 3RD AVE

		C-CCN-3, -4, -5	
<b>HEIGHT</b>		Option A	Option B
	Stories (max)	3	3
	Feet (max)	45'	45'
<b>A</b>	3rd Avenue CCN Bulk Plane Applies (see Article 13, Division 13.1)	No	Yes
<b>B</b>	3rd Avenue CCN Bulk Plane Exception	na	50'
	Height Exceptions	See Section 7.3.7.1	
		C-CCN-3, -4, -5	
<b>SITING</b>		Option A	Option B
<b>ZONE LOT</b>			
	Zone Lot Size, as of October 27, 2014 (max)	6,250 sf	6,250 sf
<b>C</b>	Zone Lot Width on the south side of 3rd Avenue	At least 1' but no more than 50'	More than 50'
<b>REQUIRED BUILD-TO</b>			
<b>D</b>	Primary Street (% within min/max)	70% 5'/15'	70% 5'/15'
<b>SETBACKS</b>			
	Primary Street (min)	5'	5'
	Side Interior (min)	0'	0'
<b>E</b>	Side Interior, adjacent to Protected District (min)	10'	10'
	Rear, alley and no alley (min)	0'	0'
	Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'
	Setback Exceptions and Encroachments	See Sections 7.3.7.3 and 7.3.7.4	
<b>PARKING</b>			
<b>F</b>	Surface Parking between building and Primary Street	Not Allowed	
<b>G</b>	Surface Parking Screening Required	See Article 10, Division 10.5	
	Vehicle Access	See Section 7.3.5.3	
		C-CCN-3, -4, -5	
<b>DESIGN ELEMENTS</b>		Option A	Option B
<b>BUILDING CONFIGURATION</b>			
<b>H</b>	Upper Story Setback Above 27'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	20'/25'	20'/25'
	Upper Story Setback Above 51'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	na
<b>STREET LEVEL ACTIVATION</b>			
<b>I</b>	Transparency, Primary Street (min)	60%	
<b>J</b>	Pedestrian Access, min 1 per building	Entrance	
<b>USES</b>		C-CCN-3, -4, -5: Options A and B	
All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking			

### G. Cherry Creek Open Space



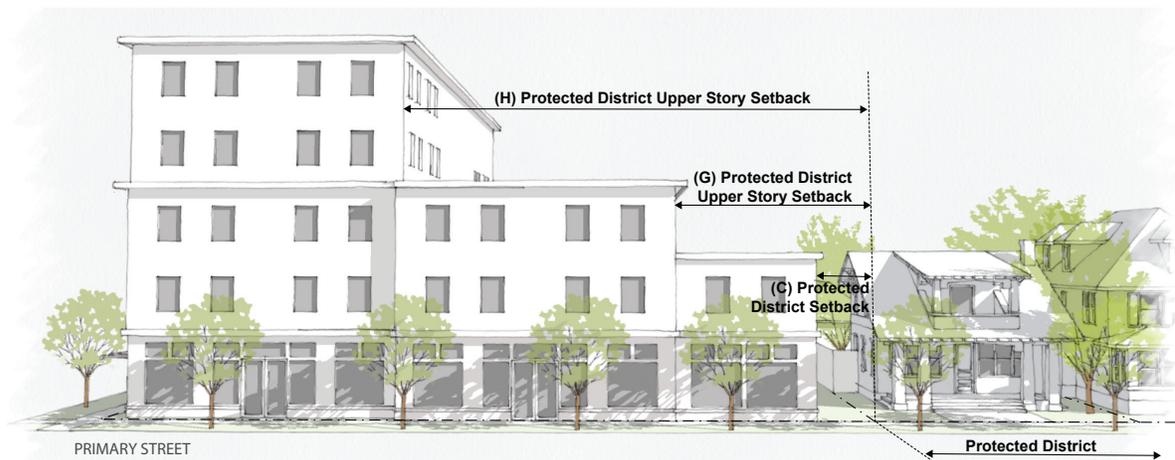
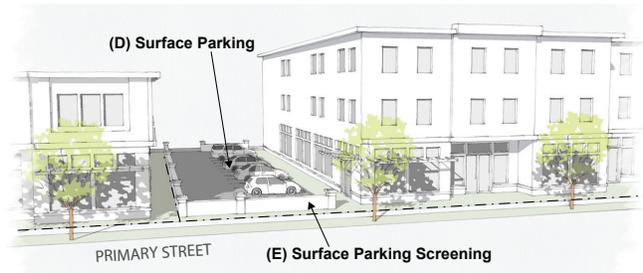
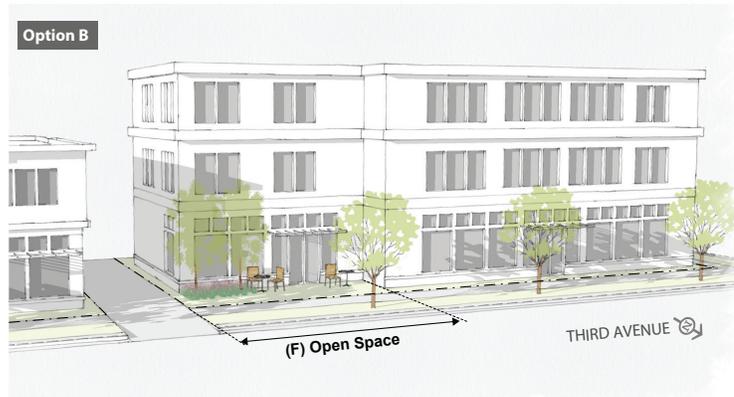
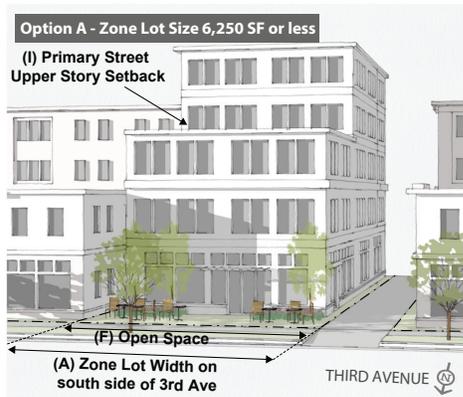
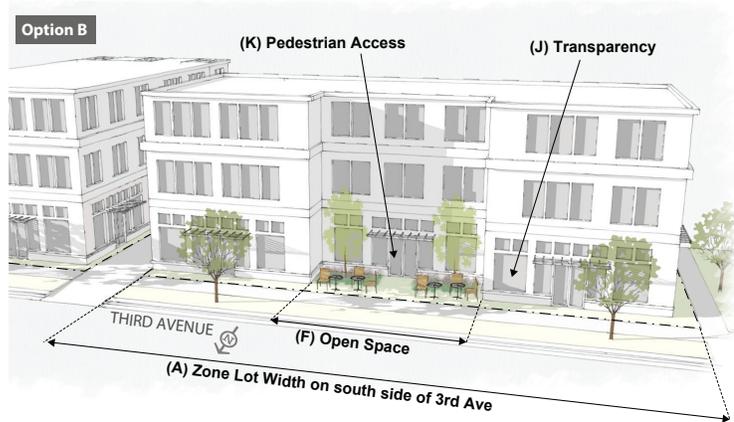
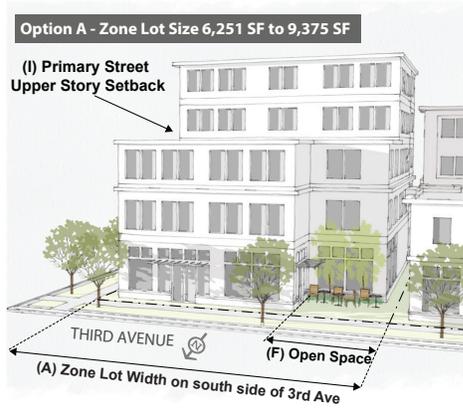
## CHERRY CREEK OPEN SPACE

HEIGHT	C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
Stories (max)	3	4	5	7	8	12
Feet (max)	45'	57'	70'	96'	110'	150'
3rd Avenue CCN Bulk Plane Applies (see Article 13, Division 13.1)	Yes	Yes	Yes	Yes	Yes	Yes
Height Exceptions	See Section 7.3.7.1					

SITING	C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
<b>REQUIRED BUILD-TO</b>						
A Primary Street (% within min/max)	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'	70% 5'/15'
<b>SETBACKS</b>						
Primary Street (min)	5'	5'	5'	5'	5'	5'
Side Interior (min)	0'	0'	0'	0'	0'	0'
B Side Interior, adjacent to Protected District (min)	10'	10'	10'	10'	10'	10'
Rear, alley and no alley (min)	0'	0'	0'	0'	0'	0'
Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'	0'/10'	0'/10'	0'/10'	0'/10'
Setback Exceptions and Encroachments	See Sections 7.3.7.3 and 7.3.7.4					
<b>PARKING</b>						
C Surface Parking between building and Primary Street	Not Allowed					
D Surface Parking Screening Required	See Article 10, Division 10.5					
Vehicle Access	See Section 7.3.5.3					

DESIGN ELEMENTS	C-CCN-3	C-CCN-4	C-CCN-5	C-CCN-7	C-CCN-8	C-CCN-12
<b>BUILDING CONFIGURATION</b>						
E Private Open Space (min)	15%	15%	15%	15%	15%	15%
F Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'
G Upper Story Setback Above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	na	35'/40'	35'/40'	35'/40'	35'/40'	35'/40'
<b>STREET LEVEL ACTIVATION</b>						
H Transparency, Primary Street (min)	60%					
I Pedestrian Access, min 1 per building	Entrance					
<b>USES</b>						
All C-CCN						
All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking						

### H. Cherry Creek Open Space - Small Lot on South Side of 3rd Ave



## CHERRY CREEK OPEN SPACE - SMALL LOT ON SOUTH SIDE OF 3RD AVE

<b>HEIGHT</b>	C-CCN-3, -4, -5	
	Option A	Option B
Stories (max)	C-CCN-3: 3 C-CCN-4: 4 C-CCN-5: 5	C-CCN-3: 3 C-CCN-4: 4 C-CCN-5: 5
Feet (max)	C-CCN-3: 45' C-CCN-4: 57' C-CCN-5: 70'	C-CCN-3: 45' C-CCN-4: 57' C-CCN-5: 70'
3rd Avenue CCN Bulk Plane Applies (see Article 13, Division 13.1)	No	No
Height Exceptions	See Section 7.3.7.1	

<b>SITING</b>	C-CCN-3, -4, -5		
	Option A		Option B
<b>ZONE LOT</b>			
Zone Lot Size, as of October 27, 2014 (max)	9,375 sf	6,250 sf	6,250 sf
A Zone Lot Width on the south side of 3rd Avenue	At least 1'	OR At least 1' but no more than 50'	Over 50'

<b>REQUIRED BUILD-TO</b>			
B Primary Street (% within min/max)	70%	70%	70%
	5'/15'	5'/15'	5'/15'

<b>SETBACKS</b>			
Primary Street (min)	5'	5'	5'
Side Interior (min)	0'	0'	0'
C Side Interior, adjacent to Protected District (min)	10'	10'	10'
Rear, alley and no alley (min)	0'	0'	0'
Rear, adjacent to Protected District, alley/no alley (min)	0'/10'	0'/10'	0'/10'
Setback Exceptions and Encroachments	See Sections 7.3.7.3 and 7.3.7.4		

<b>PARKING</b>			
D Surface Parking between building and Primary Street	Not Allowed		
E Surface Parking Screening Required	See Article 10, Division 10.5		
Vehicle Access	See Section 7.3.5.3		

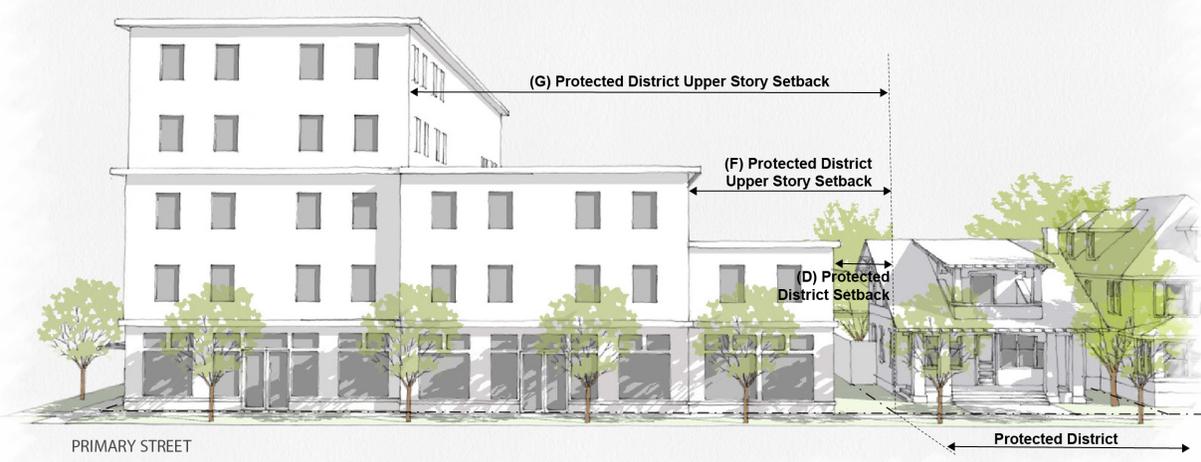
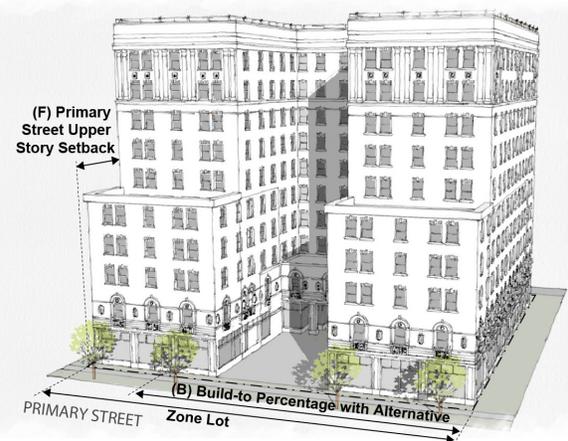
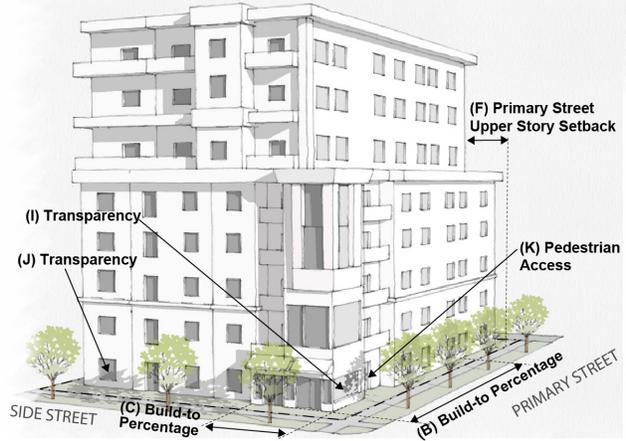
<b>DESIGN ELEMENTS</b>	C-CCN-3, -4, -5	
	Option A	Option B
<b>BUILDING CONFIGURATION</b>		
F Private Open Space (min)	15%	20%
G Upper Story Setback Above 27'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	20'/25'	20'/25'
H Upper Story Setback Above 51'; adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)	35'/40'	na
I Primary Street Upper Story Setback Above 45' and 3 Stories; where zone lot abuts southern right-of-way of 3rd Avenue (min)	57'	na

<b>STREET LEVEL ACTIVATION</b>			
Transparency, Primary Street (min)	60%		
Pedestrian Access, min 1 per building	Entrance		

<b>USES</b>	C-CCN-3, -4, -5: Options A and B
	All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking

### I. Shopfront

Not to Scale. Illustrative Only.



## SHOPFRONT

<b>HEIGHT</b>		C-MX-3	C-MS-5 C-MX-5	C-MS-8 C-MX-8	C-MS-12 C-MX-12	C-MX-16	C-MX-20
Stories (max)		3	5	8	12	16	20
<b>A</b> Feet (min/max)		na/45'	24'/70'	24'/110'	24'/150'	24'/200'	24'/250'

<b>SITING</b>		C-MX-3	C-MS-5 C-MX-5	C-MS-8 C-MX-8	C-MS-12 C-MX-12	C-MX-16	C-MX-20
<b>REQUIRED BUILD-TO</b>							
<b>B</b> Primary Street (min build-to % within min/max range)				75% 0'/5'	Residential Only Buildings: 0'/10'		
<b>C</b> Side Street (min build-to % within min/max range)				25% 0'/5'	Residential Only Buildings: 0'/10'		

<b>SETBACKS</b>							
Primary Street (min)		0'	0'	0'	0'	0'	0'
Side Street (min)		0'	0'	0'	0'	0'	0'
Side Interior (min)		0'	0'	0'	0'	0'	0'
<b>D</b> Side Interior, adjacent to Protected District (min)		10'	10'	10'	10'	10'	10'
Rear, alley and no alley (min)		0'	0'	0'	0'	0'	0'
Rear, adjacent to Protected District, alley/no alley (min)		0'/10'	0'/10'	0'/10'	0'/10'	0'/10'	0'/10'

<b>PARKING</b>							
Surface Parking between building and Primary Street/Side Street		Not Allowed/Not Allowed					
<b>E</b> Surface Parking Screening Required		See Article 10, Division 10.5					
Vehicle Access		Shall be determined as part of Site Development Plan Review					

<b>DESIGN ELEMENTS</b>		C-MX-3	C-MS-5 C-MX-5	C-MS-8 C-MX-8	C-MS-12 C-MX-12	C-MX-16	C-MX-20
<b>BUILDING CONFIGURATION</b>							
Dwelling Unit Configuration		Structure may contain Side-by-Side Dwelling Units Residential Only Structure: Side-by-Side Dwelling Units shall not exceed 50% of the Structure's GFA					
<b>F</b> Primary Street Upper Story Setback above 5 stories or 70' (min) See Section 7.3.6.2 for Alternative		na	na	20'	20'	20'	20'
<b>G</b> Upper Story Setback Above 27', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)		15'/25'	20'/25'	20'/25'	20'/25'	20'/25'	20'/25'
<b>H</b> Upper Story Setback Above 51', adjacent to Protected District: Rear, alley/Rear, no alley and Side Interior (min)		na	35'/40'	35'/40'	35'/40'	35'/40'	35'/40'
<b>STREET LEVEL ACTIVATION</b>							
<b>I</b> Transparency, Primary Street (min)		60% Residential Only Buildings: 40%					
<b>J</b> Transparency, Side Street (min)		25%	25%	30%	30%	30%	30%
<b>K</b> Pedestrian Access, Primary Street		Entrance					
<b>USES</b>		All C-MS and C-MX					
Street Level Active Uses (min % of Primary Street frontage meeting Build-To requirement)		100%					
Permitted Primary Uses		All permitted Primary Uses shall be allowed within this building form. See Division 7.4 Uses and Parking.					

See Sections 7.3.5 - 7.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

## SECTION 7.3.4 DETACHED ACCESSORY BUILDING FORM STANDARDS

### 7.3.4.1 Applicability

All detached accessory structures in all the Urban Center Neighborhood Context zone districts

### 7.3.4.2 General Standards

A. Combining standards from different building forms for the same structure is prohibited.

#### B. Detached Accessory Structures Allowed

Allowed detached accessory structures include, but are not limited to the following:

**1. Structures, Completely Enclosed: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, sheds, utility buildings, playhouses, cabanas, pool houses, garages, guard houses, and other similar Completely Enclosed Structures.

**2. Structures, Partially Enclosed: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, carports, gazebos, porches, trellises, chicken coops, and other similar Partially Enclosed Structures.

**3. Structures, Open: (See Division 13.3, Definitions of Words, Terms and Phrases.)**

Examples include, but are not limited to, pools and associated surrounds, hot tubs and associated surrounds, decks, balconies, recreational and play facilities, non-commercial barbecues, outside fireplaces, outdoor eating areas, and other similar Open Structures.

**4. Utilities, and Equipment Common and Customary to the Primary Structure and/or Use**

Examples include, but are not limited to the following:

- a. Radio and Television Receiving Antennas and Support Structures  
Permitted accessory radio and television receiving antennas and support structures shall include satellite dishes less than 32 inches in diameter, and one amateur radio sending and receiving antenna and support structures provided for same.
- b. Solar thermal and photo-voltaic energy systems
- c. Air conditioning units
- d. Pool pumps, heating and water filtration systems
- e. Mailboxes including individual mailbox structures and cluster box units (CBUs)
- f. Other similar Detached Accessory Structures, Utilities, and Equipment Common and Customary to the Primary Structure and/or Use

**5. Fences, Walls and Retaining Walls**

All accessory fences, walls and retaining walls shall comply with the fence and wall standards in Division 10.5, instead of this Section 7.3.4.

**6. Accessory Structures Not Listed**

- a. The Zoning Administrator shall determine and impose limitations on accessory structures not otherwise listed as allowed in an applicable Use Table in Articles 3 through 9, or not otherwise covered by the standards in this Section 7.3.4.
- b. All such determinations shall be reviewed according to the procedures and review criteria stated in Section 12.4.6, Code Interpretations and Determination of Unlisted Uses. In addition to the criteria stated in Section 12.4.6, the Zoning Administrator shall determine whether a proposed accessory structure is common and customary to the primary structure on the zone lot or to a specific primary use, and if the

structure is incidental to the primary structure(s) on the zone lot or to a specific primary use.

- c. The Zoning Administrator may impose limitations on the proposed accessory structure, which shall be uniform throughout the zone district, and taking into consideration the size of the accessory structure, the total number of structures on the zone lot, and the effect on adjacent property.
  - d. Matters that may be regulated according to this Section shall include, but shall not be limited to, the size, area and number of accessory structures, except as specifically permitted or excluded by Articles 3 through 9, or by this Section 7.3.4.
- C. At an applicant's request, a detached accessory structure with an existing assigned building form may be assigned a different permitted detached accessory building form if:
1. The structure fully conforms with all applicable standards of the new detached accessory building form; or,
  2. The existing assigned detached accessory building form is no longer a permitted building form in the applicable zone district.

### **7.3.4.3 Supplemental Standards**

#### **A. Additional Standards for Detached Accessory Structures in All Zone Districts**

##### **1. Public Art**

A detached accessory structure may be allowed to exceed any Detached Accessory Building Form standard if it is a "work of public art" as defined by Section 20-86 of the Denver Revised Municipal Code, as determined by the Zoning Administrator with input from Denver Arts and Venues, and if the Zoning Administrator determines that such exception (1) will have no adverse impacts on abutting property, and (2) shall not substantially harm the public health, safety, and general welfare.

#### **B. Additional Standards for Structures Accessory to Single Unit Dwellings**

##### **1. Required Building Materials**

All structures accessory to primary single unit dwelling use shall be constructed of materials that are (1) compatible with the materials employed on the primary building, (2) durable, and (3) are not constructed from salvage doors, or other similar materials as designated by the Zoning Administrator.

#### **C. Additional Standards for Detached Accessory Structure Building Forms**

##### **1. Applicability**

This section applies to the Detached Accessory Structure accessory building forms only.

##### **2. Limit on Gross Floor Area**

If an accessory use is operated partially or entirely in one or more detached accessory structures, the gross floor area of such detached accessory structures shall not exceed 10 percent of the area of the zone lot; provided, however, that this limitation shall not apply to detached accessory structures with vehicle access doors.

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### 7.3.4.4 District Specific Standards Summary

The maximum number of structures per zone lot and building forms allowed by zone district is summarized below:

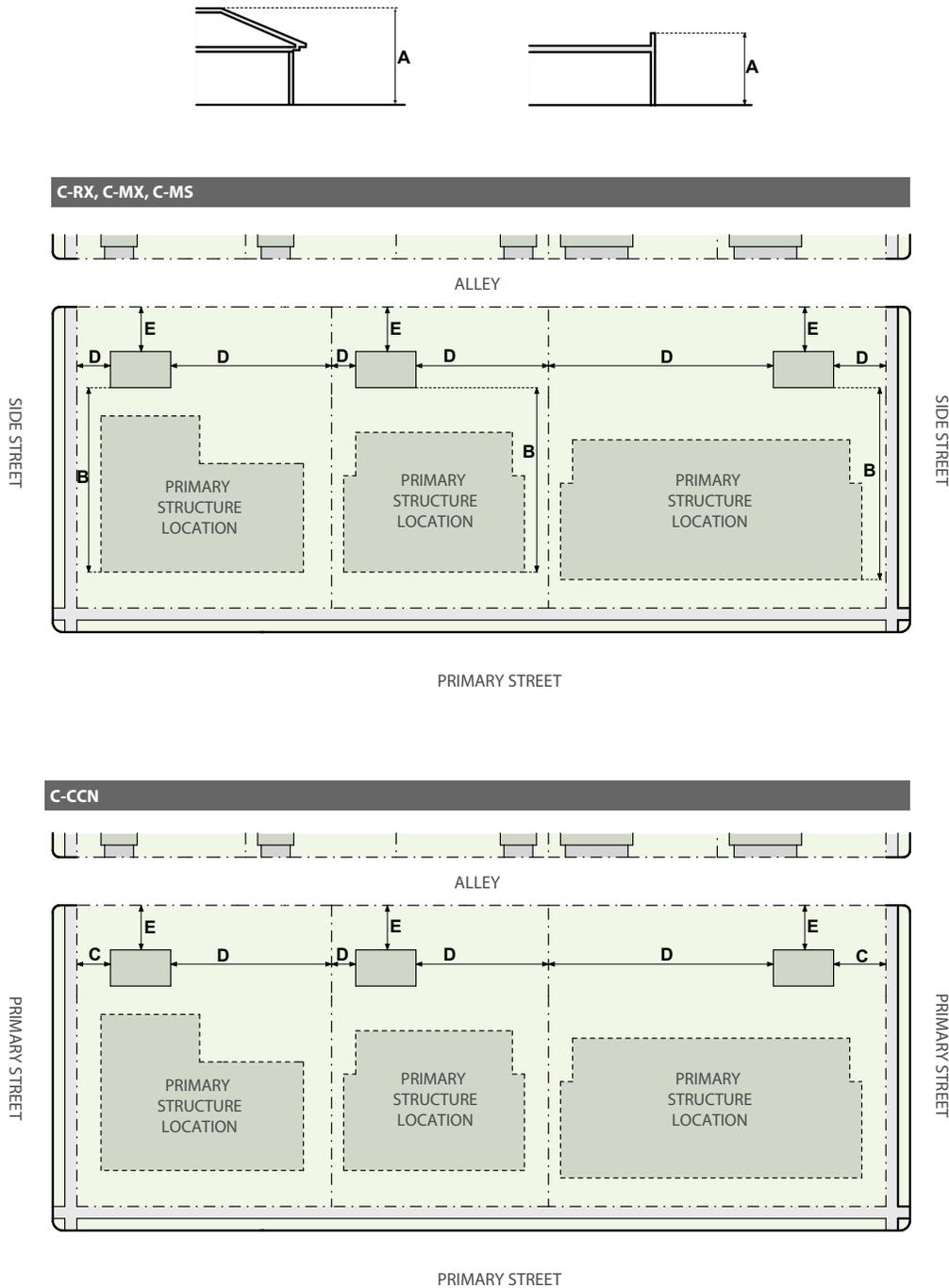
Urban Center (C-) Neighborhood Context Zone Districts		Max Number of Detached Accessory Structures per Zone Lot	Building Forms			
			Detached Accessory Dwelling Unit	Detached Garage	Other Detached Accessory Structures	Detached Accessory Structures
Residential Mixed Use (RX)	C-RX-5, -8, -12	no max*				■
Mixed Use (MX)	C-MX-3, -5, -8, -12, -20	no max				■
Main Street (MS)	C-MS-5, -8, -12	no max				■
Cherry Creek North (CCN)	C-CCN-3, -4, -5, -7, -8, -12	no max				■

■ = Allowed   □ = Allowed subject to limitations \*One per dwelling unit for structures with vehicle access doors, See Section 1.2.3.5

### 7.3.4.5 District Specific Standards

#### A. Detached Accessory Structures

Not to Scale. Illustrative Only.



## DETACHED ACCESSORY STRUCTURES

<b>HEIGHT</b>		All C-RX, C-MX, C-MS	All C-CCN
A	Stories (max)	1	1'
A	Feet (max)	17'	17'

<b>SITING</b>		All C-RX, C-MX, C-MS	All C-CCN
Additional Standards		See Section 7.3.4.3	See Section 7.3.4.3

<b>SETBACKS</b>		All C-RX, C-MX, C-MS	All C-CCN
B	Setback from Primary Street Facing Facade of Primary Structure (min)	10'	0'
C	Primary Street	na	5'
D	Side Interior and Side Street (min)	5'	0'
E	Rear, no alley (min)	5'	0'
	Rear, alley, where garage doors face alley (min)	5'	0'
	Rear, alley, where garage doors do not face alley (min)	0'	0'

<b>DESIGN ELEMENTS</b>		All C-RX, C-MX, C-MS, C-CCN
Gross Floor Area (max)		10% of the Zone Lot, provided this restriction shall not apply to the parking of vehicles. See Section 7.3.4.3

<b>USES</b>		All C-RX, C-MX, C-MS, C-CCN
		Accessory Uses Only

See Sections 7.3.5 - 7.3.7 for Supplemental Design Standards, Design Standard Alternatives and Design Standard Exceptions

## SECTION 7.3.5 SUPPLEMENTAL DESIGN STANDARDS

### 7.3.5.1 Surface Parking Between the Building and the Primary/Side Street

#### A. Intent

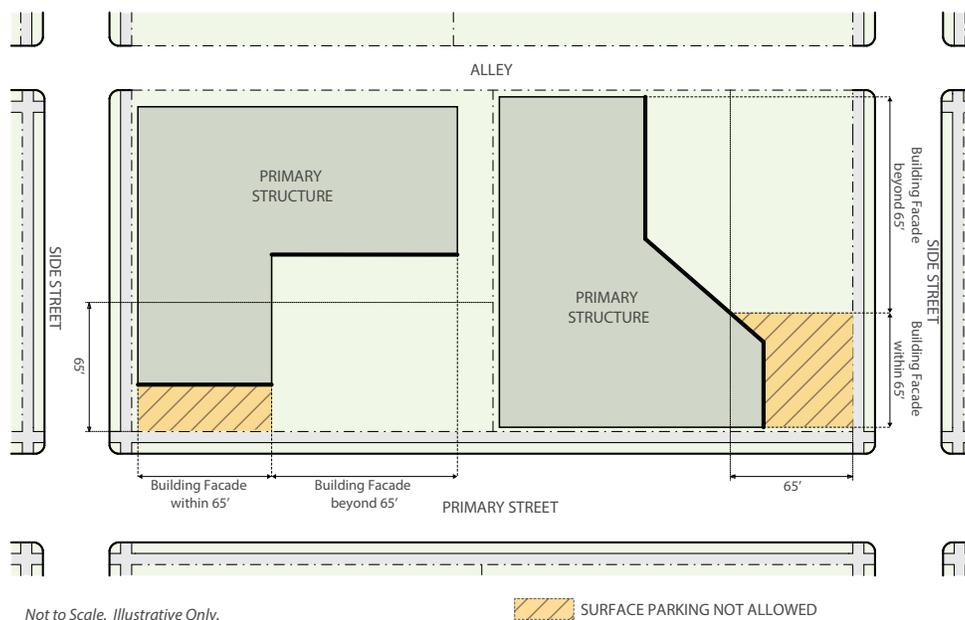
Allow for the functional siting of Buildings and Surface Parking while continuing to minimize the impacts of Surface Parking on the pedestrian experience.

#### B. Applicability

This Section 7.3.5.1 applies to the Town House, General, and Shopfront building forms in the C-RX, C-MX, and C-MS zone districts.

#### C. Surface Parking Not Allowed

Where a building form specifies that Surface Parking is not allowed between a Building and a Primary Street and/or Side Street, Surface Parking shall not be located in the area directly between any portion of a Building Facade set back 65 feet or less from the Zone Lot Line abutting the applicable Street and the Street. Surface Parking shall be allowed in the area directly between any portion of a Building Facade set back more than 65 feet from the Zone Lot Line abutting the applicable Street and the Street.



### 7.3.5.2 Rooftop and/or Second Story Decks

#### A. Intent

To protect the privacy of adjacent rear yards when adjacent to low-scale residential neighborhoods.

#### B. Applicability

Town House building form in all the C-RX, C-MX, and C-MS zone districts when the Zone Lot is adjacent to a zone district with a limitation on rooftop and/or second story decks in the rear 35% of the Zone Lot depth.

#### C. Supplemental Design Standard

1. Rooftop and/or Second Story Decks are prohibited in the rear 35% of the Zone Lot depth.
2. The Zoning Administrator may prohibit other similar structures in the rear 35% of the Zone Lot depth, including detached or freestanding structures but excluding the detached accessory dwelling unit building form where allowed, when the Zoning Administrator

finds the structure would have similar adverse privacy impacts as the specifically prohibited Rooftop and/or Second Story Deck.

### 7.3.5.3 Dwelling Units Oriented to the Street

#### A. Intent

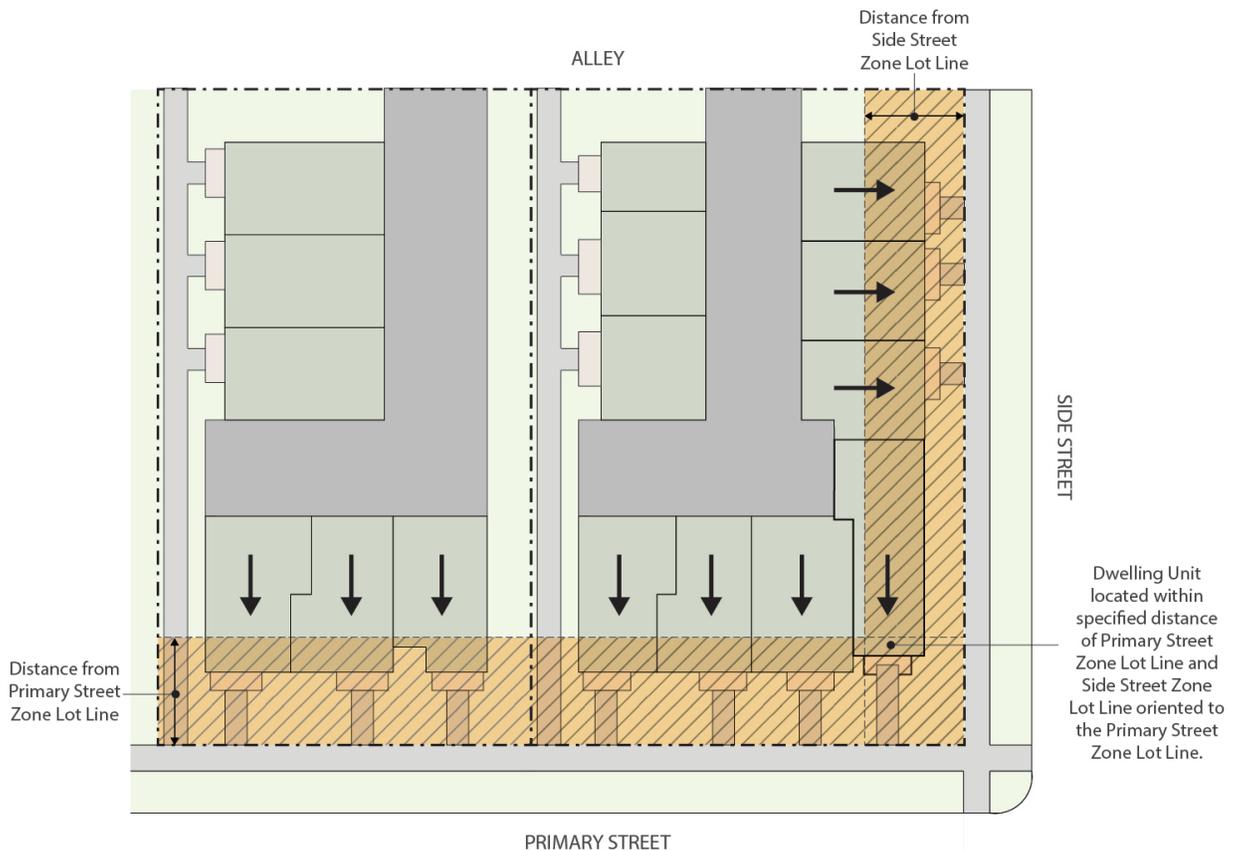
To ensure that buildings containing Side-by-Side Dwelling Units contribute to vibrant pedestrian-oriented street frontages with Dwelling Units that clearly Orient to the Street.

#### B. Applicability

This Section 7.3.5.3 shall apply to development under the Town House building form standards in all C-RX, C-MX, and C-MS zone districts when required by the building form table.

#### Supplemental Design Standard

1. On an interior Zone Lot, Dwelling Units must be oriented to the Primary Street Zone Lot Line.
2. On a Zone Lot with more than one street frontage, Dwelling Units shall be oriented to the Primary Street Zone Lot Line or the Side Street Zone Lot Line.
  - a. Dwelling Units located within 20 feet of the Primary Street Zone Lot Line shall be oriented to the Primary Street Zone Lot Line.
  - b. Dwelling Units located within 20 feet of the Side Street Zone Lot Line shall be oriented to the Side Street Zone Lot Line.
  - c. Dwelling Units located within both 20 feet of the Primary Street Zone Lot Line or Side Street Zone Lot Line shall be oriented to the Primary Street Zone Lot Line.



- d. On a Zone Lot with more than one Primary Street, the Zoning Administrator shall determine the street to which the corner Dwelling Unit shall orient based on an analysis, at a minimum, of:
  - i. The prevailing building orientation and setback patterns of buildings located on the same face block(s) as the subject Zone Lot;
  - ii. Block and lot shape;
  - iii. The functional street classification of all abutting streets as adopted by the Public Works Department;
  - iv. The future street classification of all abutting streets as adopted in Blueprint Denver; and
  - v. Guidance provided in any applicable General Development Plan or regulating neighborhood plan, such as designation of pedestrian priority streets in such plan.

#### **7.3.5.4 Height for Sloped Roofs**

##### **A. Intent**

To allow for design flexibility for sloped roofs that are responsive to the surrounding contexts and to promote variations within the building form.

##### **B. Applicability**

This Section 7.3.5.4 shall apply to development under the Town House building form standards in all C-MX, C-RX, and C-MS zone districts.

##### **Supplemental Design Standard**

1. For the portion of the roof with a minimum pitch of 6:12, the maximum building height for the subject portion shall be 45-feet in 3-story MX, RX, and MS zone districts.
2. Development of a primary building with a roof with a minimum pitch that takes advantage of the maximum height allowed per this Section 6.3.5.7 may apply one or more height exceptions allowed in Section 6.3.7.1, except that such height exceptions shall be measured from an allowed maximum of height of 38 feet in 3-story RX, MX, and MS zone districts,



### 7.3.5.5 Ground Stories of Parking Structures in the C-CCN Zone Districts

#### A. Intent

Improve the pedestrian experience along the Street Level in the Cherry Creek North mixed use shopping district by requiring Street Level active uses in all new or redeveloped buildings and structures containing parking spaces. Street Level active uses best ensure a steady stream of customer and visitor interaction throughout the day and night, contributing substantially to the activation, economic vitality, and safety of this important mixed-use neighborhood. Street Level area set aside in buildings or structures for active uses is intended to be adequately configured and dimensioned to support the feasible use of such space for Street Level active uses.

#### B. Applicability

Section 7.3.5.2 design standards shall apply to any structure containing parking spaces in the C-CCN zone districts. The term “parking spaces” in this provision means both parking spaces accessory to a primary use and/or parking spaces that comprise the primary use of the structure.

#### C. Permitted Street Level Uses

1. The Street Level of a structure containing parking spaces shall be occupied by a use permitted in the applicable C-CCN zone district for 100% of the structure’s primary street frontage(s), except the following uses are prohibited from occupying any portion of the structure’s street frontage(s):
  - a. Parking, Garage,
  - b. Parking accessory to a primary use otherwise permitted in the same building or structure,
  - c. Household Living, and
  - d. Automobile Services, Light or Heavy, except as otherwise allowed in Section 11.4.19.3.
2. Residential lobbies and other similar pedestrian access to and through the subject structure from the primary street side(s) of the building may be credited toward compliance with the 100% Street Level use frontage requirement in Section 7.3.5.2.C.1 above.

3. When vehicle access to on-site parking or loading spaces from a primary street is allowed under Section 7.3.5.3, the width of such vehicle access may be credited toward compliance with the 100% Street Level use frontage requirement in Section 7.3.5.2.C.1 above.

*See also* C-CCN zone district use limitations related to ground-story Household Living uses in Section 11.2.5 of this Code, and C-CCN zone district uses limitations related to ground-story Automobile Services, Light or Heavy uses in Section 11.4.19.3.

### **7.3.5.6 Vehicle Access in the C-CCN Zone Districts**

#### **A. Intent**

Vehicle driveways that access zone lots in the C-CCN zone districts directly from a public street create conflict points with pedestrians and detract from the objective of encouraging active uses along public street frontages in Cherry Creek North. This section's standards will improve the pedestrian experience along the Street Level in Cherry Creek North by requiring vehicle access to zone lots be taken from public alleys to the maximum extent feasible.

#### **B. Applicability**

This Section 7.3.5.3 applies to development in the C-CCN zone districts that proposes either new vehicle access or a change in location of existing vehicle access to the subject zone lot. This Section shall apply to all proposed vehicle access points to the same zone lot.

#### **C. Location of Vehicle Access**

1. All vehicle access to a zone lot in the C-CCN zone districts shall be from an alley, when alley access is present.
2. If alley access is not present or if alley access is not feasible due to lot configuration, an Applicant shall first give preference to vehicle access to the zone lot from a named street before proposing vehicle access from a numbered street.
3. Whenever street (not alley) vehicle access to the zone lot is allowed, the width of the vehicle ingress/egress ways from the street shall be minimized.

### **7.3.5.7 Vehicle Access in all other Zone Districts**

#### **A. No Alley**

Where a building form specifies "street access allowed when no Alley present", vehicle access from the street is allowed when a Zone Lot is not bounded by an Alley.

#### **B. Alley**

Where a building form specifies vehicle access from Alley is required, and the Zone Lot is bounded by an Alley, any newly constructed Driveway, Off-Street Parking Area, Garage, Carport, or other parking facility shall be accessed solely from an Alley, unless:

1. The Alley is not provided with an all weather surface of asphalt, asphaltic concrete, concrete, or any equivalent material;
2. The Alley is less than 12 feet in width;
3. At least 60 percent of the existing Zone Lots on the same Face Block are served by Driveways, Off-Street Parking Areas, Garages, Carports, or other parking facilities accessed from a primary street. Additionally, the Department of Public Works shall have approved the location of any such vehicular access;
4. The Department of Public Works prohibits the use of the Alley for vehicular access to the Zone Lot based upon a determination that the Alley cannot safely or operationally accommodate additional vehicular traffic;

5. The Primary Use is within the Civic, Public, and Institutional Use Category and the Department of Public Works determines that vehicular access is needed from the street; or
6. The applicant can demonstrate at the time of zoning permit application that vehicular access from a street to an Accessory Garage, Carport, or other Off-Street Parking Area was legally established, constructed, or expanded prior to June 25, 2010 and was Continuously Maintained, and the Primary Structure has not been Voluntarily Demolished.

If improvements to any portion of the Alley, including widening and/or repaving, are required by the City at the time of Development due to a change in use or intensity, which resolve the exceptions specified in Section 7.3.5.4, then vehicular Alley access is required.

### **7.3.5.8 Street Level Active Uses in the C-MX and C-MS Zone Districts**

#### **A. Intent**

To promote activity on the street and sidewalk, enhance safety and encourage a vibrant urban environment.

#### **B. Applicability**

This Section 7.3.5.8 applies to the General and Shopfront building forms in the C-MX zone districts and the Shopfront building form in the C-MS zone districts.

#### **C. Street Level Active Uses**

1. Street Level active uses include all permitted primary uses except the following:
  - a. Mini-storage Facility; or
  - b. Wholesale Trade or Storage, Light.
2. Street Level active uses include all permitted accessory uses except the following:
  - a. Car Wash Bay Accessory to Automobile Services or Hotel Uses; or
  - b. Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses.
3. Street Level active uses shall not include Parking Spaces or Parking Aisles.
4. Street Level active uses shall occupy Street Level floor area for a minimum depth of 15 feet (may include the depth of a recessed entrance allowed to meet minimum pedestrian access standards).
5. The length of any build-to alternatives, except Arcades, permitted by Section 7.3.6.1 shall not apply toward the required percentage of Street Level building frontage that must be occupied by a Street Level active use.
  - a. An Arcade may contribute to the Street Level Active use requirement for a maximum of 6 feet of the required 15 foot depth.
6. The portion of the Street Level building frontage that meets the Street Level active use requirement shall contain at least one window or door that meets the minimum transparency requirement standards in Section 13.1.6.3.A.4.

## **SECTION 7.3.6 DESIGN STANDARD ALTERNATIVES**

### **7.3.6.1 Required Build-To Alternatives**

#### **A. Intent**

To help define the public realm and enhance the visual quality of the built environment where it is not possible to define the street and public sidewalk edge with building facades. Additionally,

to allow relief for vehicle access when alley access is not feasible per Section 7.3.5.7 in the Town House building form.

**B. Allowance**

The following alternatives may be used singularly or in combination as alternatives to a required build-to standard and may count toward the required build-to no more than as described in the table below, provided all alternatives meet the requirements stated in Section 13.1.5.8.E:

REQUIRED BUILD-TO ALTERNATIVES									
ZONE DISTRICT	BUILDING FORM	PERMANENT OUTDOOR PATIO SEATING (MAX INCREASE IN BUILD-TO RANGE)	PRIVATE OPEN SPACE (MAX % OF BUILD-TO)	GARDEN WALL (MAX % OF BUILD-TO)	GARDEN WALL WITH COVERED SEATING FOR PEDESTRIANS (MAX % OF BUILD-TO)	PERGOLA (MAX % OF BUILD-TO)	ARCADE (MAX % OF BUILD-TO)	COURTYARD (MAX % OF BUILD-TO)	VEHICLE ACCESS (MAX FEET OF BUILD-TO)
C-RX C-MX C-MS	Town House	na	na	na	na	na	na	30%	12 feet
C-RX C-MX	All Others	na	na	25%***	30%***	30%***	100%	100%	na
C-MS	All Others	na	na	25%***	30%***	30%***	100%	na	na
C-CCN	All Others	5'*	100%**	25%***	30%***	30%***	100%	na	

\*Permitted increase in the maximum depth of the required build-to range.

\*\* If used in combination with each other, the permanent outdoor patio seating and private open space alternatives may count toward 100% of required build-to, provided the outdoor patio seating complies with the private open space rule of measurement in Article 13.

\*\*\*If used in combination with each other, the garden wall, garden wall with covered seating for pedestrians and pergola alternatives may count toward no more than 30% of required build-to.

**7.3.6.2 Primary Street Upper Story Setback**

**A. Intent**

To provide flexibility while maintaining and promoting a pedestrian-scaled main street.

**B. Applicability**

C-MS-8, C-MS-12

**C. Alternative**

When the building is placed at 0 feet on the Primary Street Zone Lot Line, then the Upper Story Setback above 5 stories or 70 feet may be reduced to 15 feet. This alternative only applies to portions of buildings placed at 0 feet on the Primary Street Zone Lot Line. Therefore, any portions of the building placed beyond 0 feet shall meet the Upper Story Setback stated in the building form table.

**7.3.6.3 Transparency Alternatives**

**A. Intent**

To provide visual interest on building facades, to activate the public street and sidewalk, and enhance the visual quality of the built environment along Street Level facade areas where windows do not provide sufficient transparency.

**B. Allowance**

The following alternatives may be used singularly or in combination as alternatives to a required transparency standard and may count toward required transparency no more than as

described in the table below, provided all alternatives meet the requirements stated in Section 13.1.6.3.A.5:

TRANSPARENCY ALTERNATIVES						
ZONE DISTRICT	ZONE LOT LINE DESIGNATION	DISPLAY CASES AND AUTOMATED TELLER MACHINES (MAX)	WALL DESIGN ELEMENTS (MAX)	PERMANENT OUTDOOR EATING / SERVING AREAS (MAX)	PERMANENT ART (MAX)	COMBINATION OF ALTERNATIVES (MAX)
C-RX	Primary Street	40%	50%	60%	40%	80%
	Side Street	40%	50%	80%	40%	80%
C-MX	Primary Street	40%	50%	60%	40%	80%
	Primary Street B	40%	100%, provided the wall design elements are applied to the entirety (100%) of the length of the Street Level wall.	60%	40%	80%*
	Side Street	40%	100%, provided the wall design elements are applied to the entirety (100%) of the length of the Street Level wall.	80%	40%	80%*
C-MS	Primary Street	40%	50%	60%	40%	50%
	Side Street	40%	50%	80%	40%	50%

\*Wall design elements that are applied to the entire length of the Street Level wall may count toward up to 100% of required side street transparency.

#### 7.3.6.4 Pedestrian Access (Entrance) Alternatives

##### A. Intent

To provide a clear and obvious, publicly accessible route connecting the Primary Street to the primary uses within the building.

##### B. Allowance

In C-MX and C-RX zone districts, for all building forms except the Town House building form, one of the following may be used as an alternative to a required Entrance, provided that the alternative meets the design standards described in Section 13.1.6.3.B.4:

1. Courtyard or Plaza
2. Covered Walkway

### SECTION 7.3.7 DESIGN STANDARD EXCEPTIONS

#### 7.3.7.1 Height Exceptions

##### A. Intent

To allow building features to exceed maximum height for utility purposes and/or limited recreation or building amenities in the higher intensity zone districts/larger forms.

##### B. Applicability and Standards:

1. The following building features are allowed to exceed height in feet, stories, bulk plane and upper story setbacks as described in the table below, subject to the standards in this section 7.3.7.1.B.
2. Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment granted an

exception for height in stories shall only be as large as necessary to achieve the intended function of the feature and shall not exceed the minimum required dimensions defined in the Denver Building and Fire Code.

3. An elevator lobby granted an exception for height in stories shall be no larger in area than the area of the elevator shaft which it abuts, measured to the exterior walls.
4. Unoccupied building features shall not include space for living, sleeping, eating, cooking, bathrooms, toilet compartments, closets, halls, storage, or similar space.
5. Where a building feature exceeds the maximum height in feet or the maximum height in stories as allowed in this section, all standards for the applicable feature in the table below shall apply.

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY PROJECT THROUGH THE 3RD AVENUE CCN BULK PLANE	MAY ENCROACH INTO THE UPPER STORY SETBACK
Eaves	All C- Zone Districts	No	No	Any distance when attached to a feature that meets the definition of a Story	Not applicable	Any distance	Not allowed	Any distance
Unoccupied spires, towers, flagpoles, antennas, chimneys, flues and vents	All C- Zone Districts	No	No	28'	Not applicable	Any distance	Not allowed	Any distance
Unoccupied cooling towers and enclosures for tanks	All 5-Story or greater C-RX, C-MX, C-MS Zone Districts	No	Yes	28'	Not applicable	Not allowed	Not allowed	Not allowed
Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment.	C-MX-3 Zone Districts in the Town House building form	Yes	Yes, from the perimeter of the portion of the building Facing the Primary Street, Side Street, Side Interior or Rear Zone Lot Line.  No, from the perimeter of the portion of the building that does not face a Zone Lot Line.	12'	1 story	Not Allowed	Not Applicable	Not Allowed

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY PROJECT THROUGH THE 3RD AVENUE CCN BULK PLANE	MAY ENCROACH INTO THE UPPER STORY SETBACK
Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment	C-MX-3, C-CCN Zone Districts, all other building forms	Yes	Yes, from the perimeter of the portion of the building facing the Primary Street or Side Street.  Yes, from the perimeter of the portion of the building facing the zone lot line adjacent to a Protected District.  No, all others.	12'	1 story	Not allowed	Not allowed	Not allowed
Unoccupied elevator penthouses, stair enclosures, and enclosed or unenclosed mechanical equipment including vertical or sloped screen walls for such equipment	All 5-Story or greater C-RX, C-MX, C-MS Zone Districts	Yes	Yes, from the perimeter of the portion of the building facing the Primary Street or Side Street.  Yes, from the perimeter of the portion of the building facing the zone lot line adjacent to a Protected District.  No, all others.	28'	1 story	Not allowed	Not allowed	Not allowed
Elevator lobbies	C-MX-3, C-CCN Zone Districts	Yes	Yes	12'	1 story	Not allowed	Not allowed	Not allowed
Elevator lobbies	All 5-Story or greater C-RX, C-MX, C-MS Zone Districts	Yes	Yes	28'	1 story	Not allowed	Not allowed	Not allowed
Open Structures	C-MX-3, C-CCN Zone Districts	Yes	Yes	12'	Not applicable	Not allowed	Not allowed	Not allowed
Open Structures	All 5-Story or greater C-RX, C-MX, C-MS Zone Districts	Yes	Yes	28'	Not applicable	Not allowed	Not allowed	Not allowed
Parapet Wall and/or Safety Railing	All 5-Story or greater C- Zone Districts	No	No	Any distance	Not applicable	Not allowed	Not allowed	Not allowed
Flush-mounted solar panels	All C- Zone Districts	No	No	Any distance	Not applicable	Any distance	Not allowed	Any distance

BUILDING FEATURES	ZONE DISTRICTS	THE AGGREGATE SHALL NOT EXCEED 33-1/3 PERCENT OF THE AREA OF THE SUPPORTING ROOF	SHALL BE SET BACK FROM THE PERIMETER OF THE BUILDING A MINIMUM OF ONE FOOT HORIZONTALLY FOR EVERY ONE FOOT OF VERTICAL HEIGHT	MAY EXCEED MAXIMUM HEIGHT IN FEET BY:	MAY EXCEED MAXIMUM HEIGHT IN STORIES BY:	MAY PROJECT THROUGH THE BULK PLANE	MAY PROJECT THROUGH THE 3RD AVENUE CCN BULK PLANE	MAY ENCROACH INTO THE UPPER STORY SETBACK
Evaporative coolers	All C- Zone Districts	No	Yes	Any distance	Not applicable	Any distance	Not allowed	Any distance
Accessory water tanks	All C-MX, C-MS Zone Districts	No	Yes	28'	Not applicable	Any distance	Not allowed	Any distance
Pedestrian bridge	All C- Zone Districts	Not applicable	Not applicable	28'	Any number	Any distance	Any distance	Any distance

### 7.3.7.2 Required Build-To Exceptions

#### A. Civic, Public & Institutional Uses

##### 1. Intent

To accommodate signature entrance architecture, gathering spaces, plazas, or community amenities along the front facades of structures containing civic, public and institutional uses.

##### 2. Standard

Structures containing one or more uses in the Civic, Public & Institutional Use Classification are not required to meet the Primary Street and Side Street Build-To standards.

#### B. Parkways

##### 1. Intent

To ensure structures contribute to the look and feel of a Parkway and great public space along Parkways, when Parkway setbacks are more restrictive than this Code's build-to range.

##### 2. Standard

Where a zone lot has street frontage on a Parkway designated under D.R.M.C, Chapter 49, if the parkway setback is greater than the outer range of the required build-to range, the build-to shall follow the setback established by the Parkway. The minimum build-to percentage shall still apply.

### 7.3.7.3 Setback Exceptions

#### A. Intent

To promote compatible building character along Parkways, when Parkway setbacks are more restrictive than this Code's setbacks.

#### B. Standard

In all C- zone districts, where a zone lot has street frontage on a Parkway designated under D.R.M.C., Chapter 49, the greater of the following street setbacks shall apply:

1. The street setback required by the applicable building form standards in this Code; or
2. The required Parkway setback established under D.R.M.C., Chapter 49.

### 7.3.7.4 Setback Encroachments

#### A. Intent

To allow minor elements to encroach into a setback while maintaining an open and unobstructed minimum setback space.

#### B. Standard

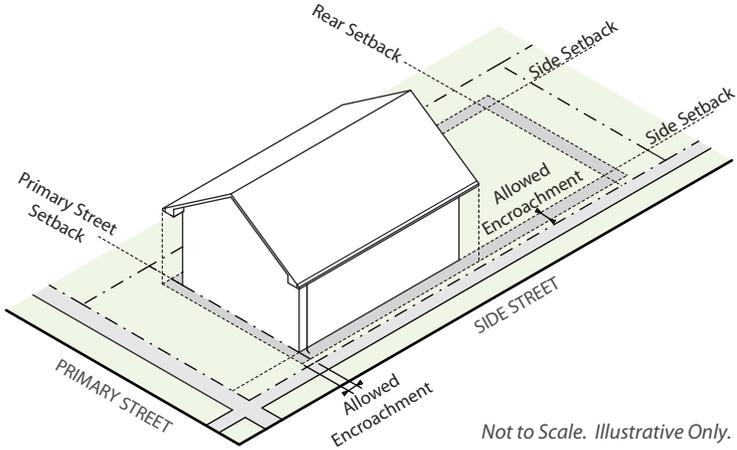
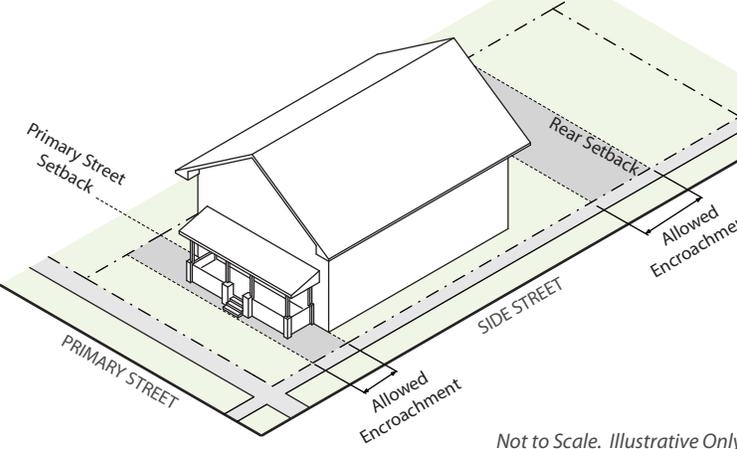
Required minimum setbacks shall be open and unobstructed. The following setback encroachments, excluding required upper story setbacks, are allowed:

##### 1. Architectural Elements

To allow for minor elements which add to the architectural character of buildings, while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Belt Courses, sills, lintels, pilasters, pediments, cornices; chimneys and fireplace insert vents not exceeding 6' in width	All C- Zone Districts	All building forms	1.5' Cornices only: 3'	1.5' Cornices only: 3'	1.5' Cornices only: 3'; if setback is less than 5': 2'	1.5' Cornices only: 5'
Intent: To allow common, minor decorative elements which are integral to a building.	<p>Not to Scale. Illustrative Only.</p>					
<p><i>Illustrative only</i></p>						

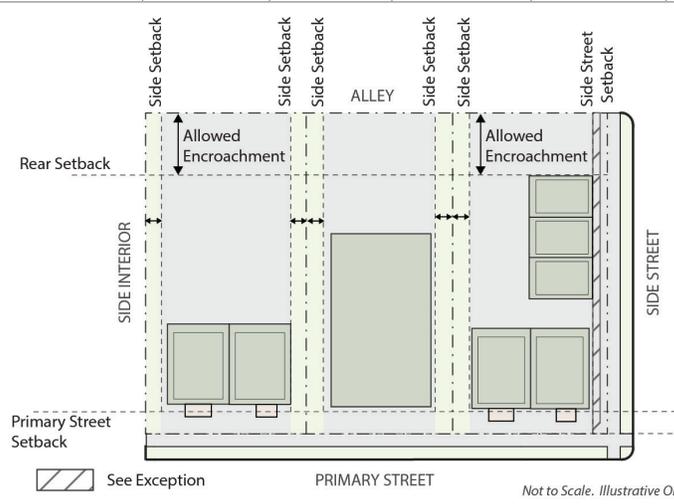
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Brick and stone veneers above Finished Grade for re-siding an existing structure only	All C- Zone Districts	All building forms	6"	6"	6"	6"
Intent: To allow for re-siding of existing structures which may not meet a required minimum setback or the re-siding of the structure would result in not meeting the required minimum setback.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Canopies providing cover to an entrance: • The width shall be no greater than 25% of the width of the face of the building or 20', whichever is less; and • Shall be open on three sides.	All C- Zone Districts	Town House	Any distance	Any distance	2' and at no point closer than 3' to the Zone Lot line	Not allowed
		All Others	Any distance	Any distance	Not allowed	Not allowed
Intent: Provide protection from the weather for pedestrians entering the building and define street entrances to the building.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Gutters and Roof Overhang</p> <p>Intent: To allow features of structures intended to repel weather</p>  <p><i>Illustrative only</i></p>	All C- Zone Districts	All building forms	3'	3'	3'; if setback is less than 5': 2'	5'
 <p><i>Not to Scale. Illustrative Only.</i></p>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Porches (1-Story or multi-Story), Decks, Patios, Exterior Balconies, Stoops, and above-grade stairways at the Street Level connected to a Porch:</p> <ul style="list-style-type: none"> <li>• May be covered;</li> <li>• All sides shall be at least 50% open except for any side abutting a building facade or fire wall.</li> </ul> <p>Intent: To promote elements which provide for street activation and human scale.</p>  <p><i>Illustrative only</i></p>	All C- Zone Districts	All building forms	8' and minimum of 1' between right-of-way and first riser of above-grade stairway	5' and minimum of 1' between right-of-way and first riser of above-grade stairway	Not allowed	5'
 <p><i>Not to Scale. Illustrative Only.</i></p>						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<b>Projecting Windows:</b> • Shall be a minimum of 1.5' above finished floor; • Shall not extend floor to ceiling; and • No individual projection shall be more than 10' in horizontal length at the opening along the face of the building.	All C- Zone Districts	Town House	1.5'	1.5'	1.5'	1.5'
		All Others	1.5'	1.5'	Not Allowed	1.5'
Intent: To allow for improved interior daylighting.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<b>Shading devices:</b> Building elements, such as awnings, designed and intended to control light entering a building	All C- Zone Districts	All building forms	5'	3'	3'	10'
Intent: To allow for elements either integral or attached to a building which control light entering through windows.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						

**2. Site Elements**

To allow for minor screening and parking elements while maintaining an open and unobstructed setback space.

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Fences and Walls	See Article 10, Division 10.5 Landscaping, Fences, Walls and Screening					
Surface Parking	Not Allowed					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Off-Street Parking Area  When a Zone Lot contains two or more building forms with different permitted encroachments, the less restrictive standards shall apply. for the entire Zone Lot.	All C- Zone Districts	Town House	Not allowed	Not allowed* (*see exception below)	Allowed	Allowed
		All Others	Allowed	Allowed	Allowed	Allowed
Intent: To restrict off-street parking area where it is impactful due to the number of required parking spaces.						
*Exception: The minimum 5' of back out space required in Division 10, Section 4 shall be permitted to encroach 2.5' when the encroachment is screened from the Side Street with a Garden Wall and 1 deciduous canopy tree or planting strip.						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Drive or Driveway  When a Zone Lot contains two or more building forms with different permitted encroachments, the less restrictive standards shall apply for the entire Zone Lot.	All C- Zone Districts	Town House	Any distance	Any distance	Any distance Adjacent to a Protected District: Not Allowed (*see exception below)	Any distance
		All Others	Any distance	Any distance	Not allowed (*see exception below)	Any distance
Intent: To allow a Drive or Driveway to access an Off-Street Parking Area, but restrict the location where it is impactful due to proximity to adjacent properties.	<p style="text-align: center;">PRIMARY STREET</p> <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						

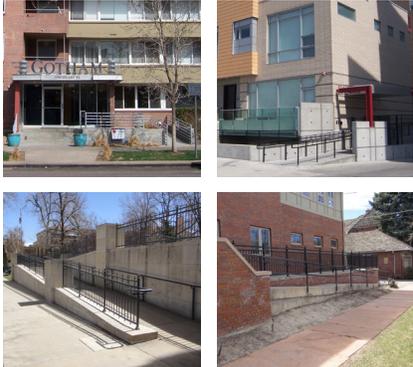
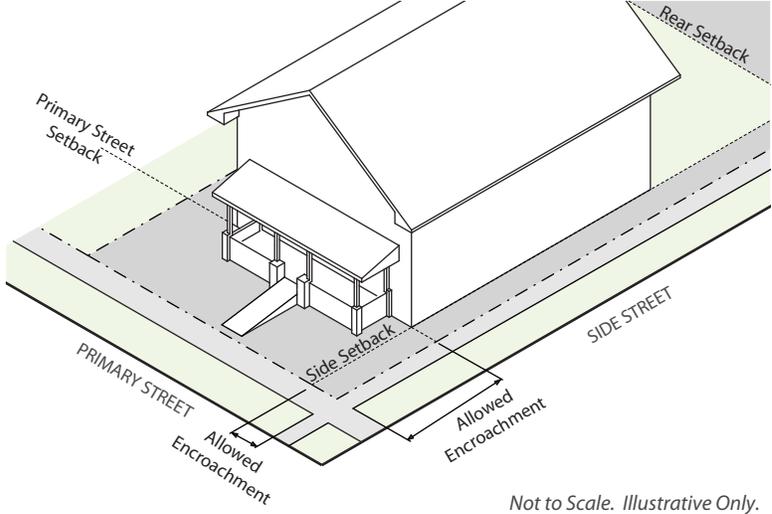
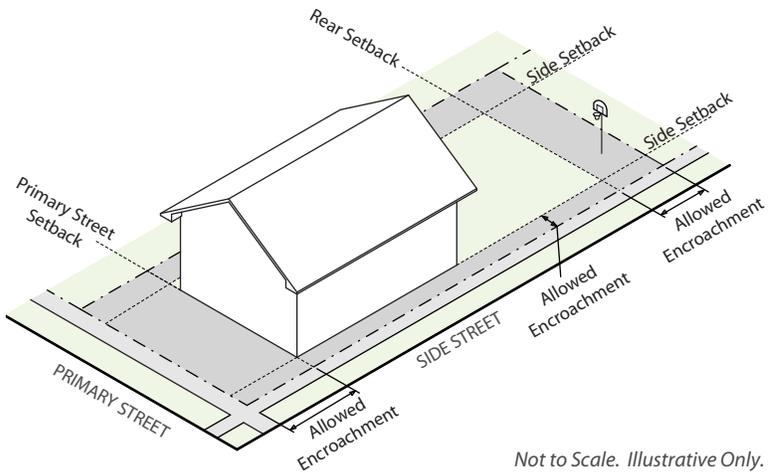
\*Exception: A Drive or Driveway may encroach any distance into a Side Interior setback where:

- The Side Interior setback Abuts a public Alley;
- Other public right-of-way, or an easement for public access Abutting a public Alley; or
- Where a shared access agreement allows the Drive or Driveway to provide shared access to more than one Abutting Zone Lot.

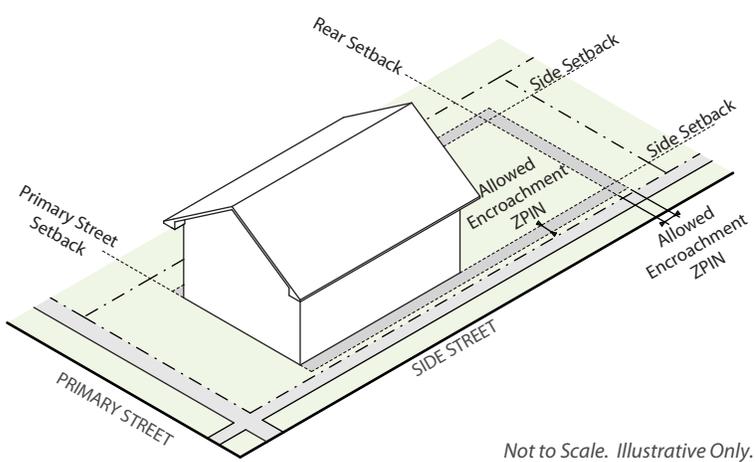
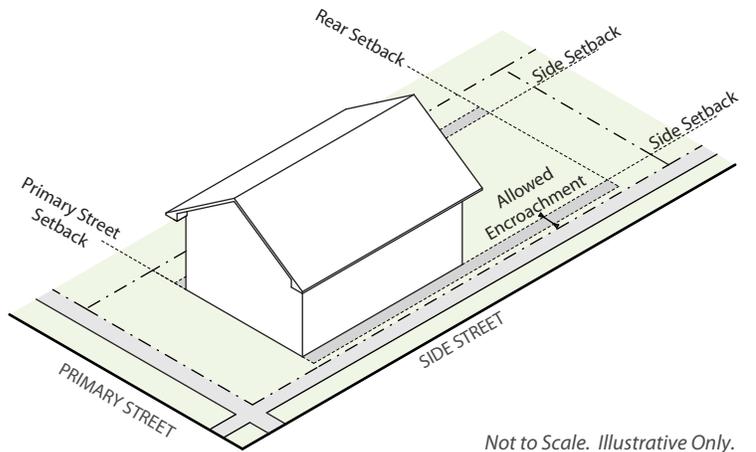
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Flatwork providing pedestrian access to entrances and buildings:	All C- Zone Districts	All building forms	Any distance, but may not exceed 50% of the area within the setback	Any distance, but may not exceed 50% of the area within the setback	Maximum of 5' wide: Any distance	Maximum of 5' wide: Any distance
Intent: To provide pedestrian access to entrances and buildings, but restrict coverage and width to ensure adequate openness	<p style="text-align: center;">PRIMARY STREET</p> <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						

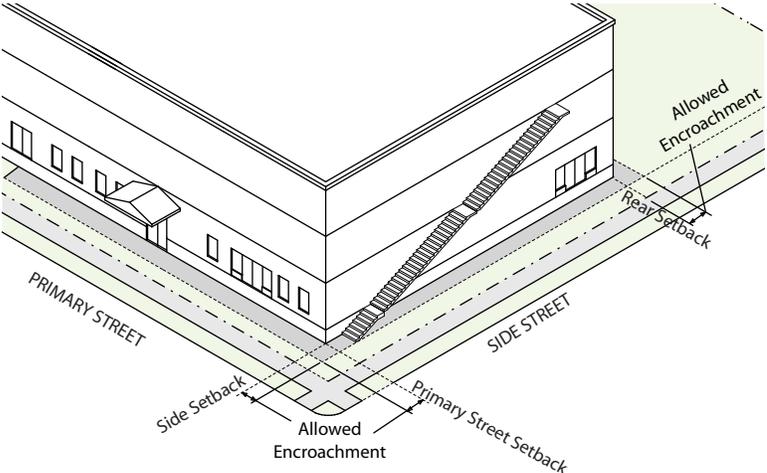
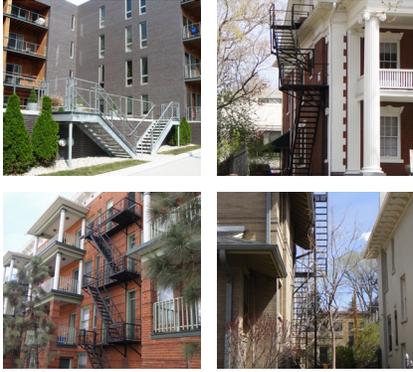
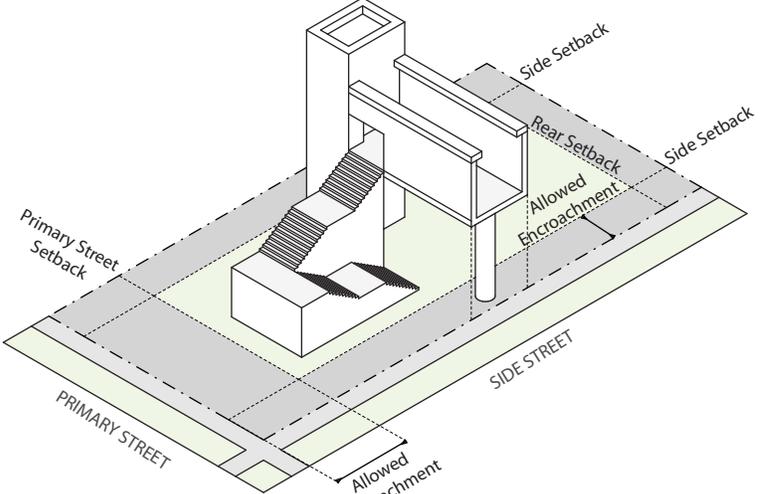
### 3. Service & Utility Elements

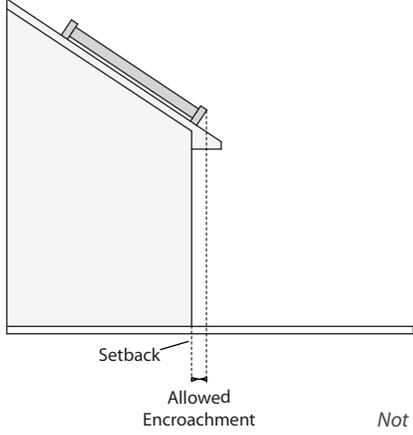
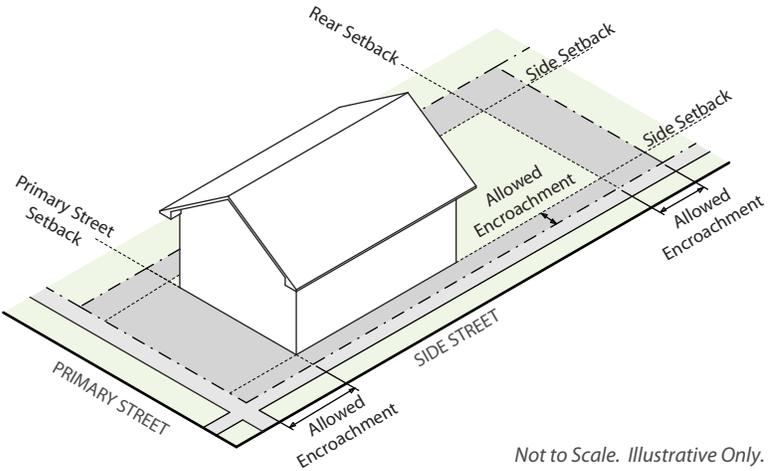
To allow for minor service and utility elements while maintaining an open and unobstructed setback space.

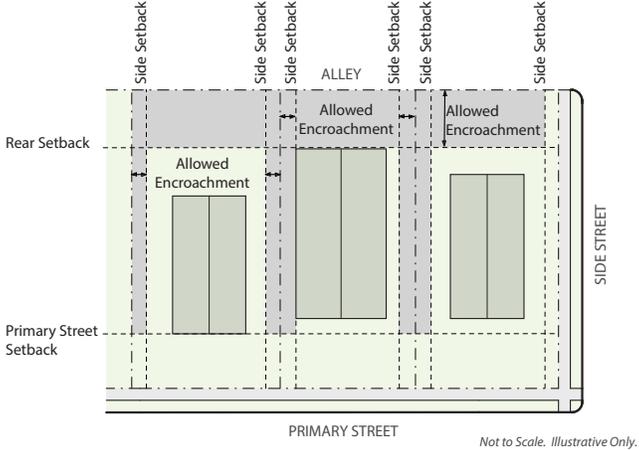
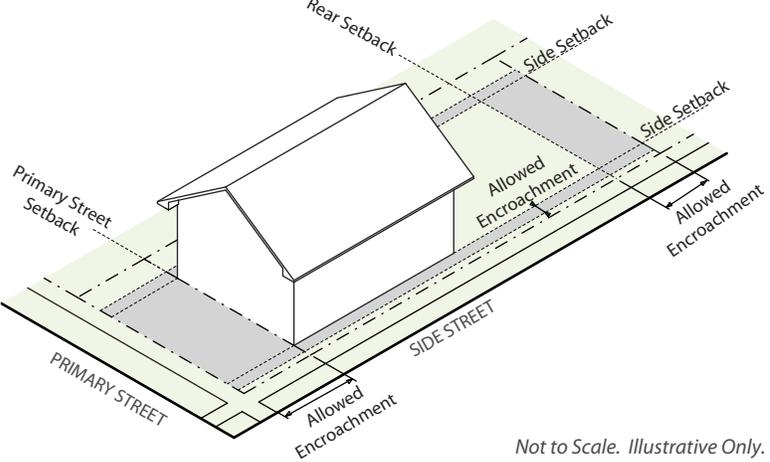
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
<p>Barrier-free access structures providing access to existing buildings as required by the Americans with Disabilities Act or Denver Accessibility Standards, when no alternative locations are available.</p> <ul style="list-style-type: none"> <li>• Setback encroachments for required barrier-free access structures are only allowed for expansions, enlargements, and alterations to existing buildings.</li> <li>• Such barrier-free access structures shall be designed to be compatible with the character of the building, as determined by the Zoning Administrator.</li> </ul>	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
<p>Intent: To provide flexibility in the location of required barrier-free access to existing buildings.</p>  <p><i>Illustrative only</i></p>	 <p><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Basketball goals on a fixed post	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
 <p><i>Not to Scale. Illustrative Only.</i></p>						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Enclosed structure that is below the original grade and completely underground, of any setback space, except as otherwise restricted by this Code	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow below grade structures that do not disrupt the streetscape.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Gas and electric meters	All C- Zone Districts	All building forms	1.5'	1.5'	1.5'	1.5'
Intent: To allow for functional siting.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Ground mounted air conditioning units or other similar mechanical equipment, except evaporative coolers, provided the following are all met:	All C- Zone Districts	All building forms	Not allowed	3'; subject to Zoning Permit Review with Informational Notice	3'; subject to Zoning Permit Review with Informational Notice	3'; subject to Zoning Permit Review with Informational Notice
<ul style="list-style-type: none"> <li>Does not generate more than 75 decibels of ambient sound according to the manufacturer's specifications and does not exceed the noise standards of Section 36-6 of the D.R.M.C.;</li> <li>Does not exceed 4' in height or 10 square feet in area per unit;</li> <li>Does not exceed 2 units per zone lot;</li> <li>Has adequate screening to conceal it from view from adjacent properties and public rights-of way by means of landscaping and/or fencing; and</li> <li>The location of the unit(s) minimizes the impacts on adjoining properties.</li> </ul>						
Intent: To allow for functional siting.	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Ground mounted evaporative coolers <ul style="list-style-type: none"> <li>located behind the front of the primary structure and</li> <li>screened from adjacent properties and public rights-of-way, and</li> <li>not to exceed the noise standards of D.R.M.C. Section 36-6</li> </ul>	All C- Zone Districts	All building forms	Not allowed	3'	3'	Not allowed
Intent: To allow for functional siting.	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Emergency egress, when required by Denver Fire Code, such as fire escapes, fire escape ladders, and outside stairways, including landing(s) which do not exceed the minimum required dimensions for a landing as defined in the Denver Building And Fire Code and excluding above-grade walkways	All C- Zone Districts	All building forms	5'	3'	3'	10'
Intent: To provide for egress from a building only for emergency purposes	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
 <p style="text-align: center;"><i>Illustrative only</i></p>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Pedestrian Bridge where the encroachment is necessary to complete a connection for a continuous, publicly accessible pedestrian/bicycle route provided Public Works has approved a right-of-way encumbrance.	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for above-grade connections that support continuous publicly accessible pedestrian/bicycle routes.	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
 <p style="text-align: center;"><i>Illustrative only</i></p>						

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Solar Panel, Flush Mounted Roof	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow flush mounted solar panels on the roof of existing structures which may not meet a required minimum setback.	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
 <p style="text-align: center;"><i>Illustrative only</i></p>						
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Shall not exceed 3' in height.	All C- Zone Districts	All building forms	Any distance	Any distance	Any distance	Any distance
Intent: To allow for functional siting.	 <p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Utility pedestals, transformers or other similar equipment, excluding mechanical equipment: • Greater than 3' in height but not exceeding 8' in height above Finished Grade.	All C- Zone Districts	All building forms	Not allowed	Not allowed	Any distance	Any distance
Intent: To allow for functional siting.  <i>Illustrative only</i>	 Not to Scale. Illustrative Only.					
	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Window well and/or emergency basement egress areas: • Shall be below grade.	All C- Zone Districts	All building forms	Any distance for any width	Each may be no more than 3' in width as measured perpendicular to the side interior/side street zone lot line and 6' in length as measured parallel to the building facade facing the side interior/side street zone lot line		Any distance for any width
Intent: To allow for emergency egress  <i>Illustrative only</i>	 Not to Scale. Illustrative Only.					

	ZONE DISTRICTS	BUILDING FORMS	PRIMARY STREET	SIDE STREET	SIDE INTERIOR	REAR
Mailboxes and other similar structures, including individual mailbox structures and cluster box units (CBUs)	All C-Zone Districts	All building forms	Any distance	Any distance	Not allowed	Not Allowed
Intent: To allow for functional siting.	<p style="text-align: right;"><i>Not to Scale. Illustrative Only.</i></p>					
<p style="text-align: center;"><i>Illustrative only</i></p>						

## SECTION 7.3.8 REFERENCE TO OTHER DESIGN STANDARDS

### 7.3.8.1 Article 10: General Design Standards

Refer to the following Divisions for other applicable design standards

- A. Parking and Loading: Division 10.4
- B. Landscaping, Fences, Walls and Screening: Division 10.5
- C. Site Grading: Division 10.6
- D. Outdoor Lighting: Division 10.7
- E. Signs: Division 10.10

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## DIVISION 7.4 USES AND REQUIRED MINIMUM PARKING

### SECTION 7.4.1 APPLICABILITY

- 7.4.1.1 This Division 7.4 sets forth the land uses permitted, the required zoning procedure and the required minimum parking for all the Urban Center Neighborhood Context zone districts.
- 7.4.1.2 Uses not listed are prohibited, unless the Zoning Administrator specifically permits the unlisted use according to Section 12.4.6, Code Interpretations and Determination of Unlisted Uses.
- 7.4.1.3 For number of primary and accessory uses permitted per Zone Lot, see Section 1.2.3.5, Number of Structures and Uses allowed per Zone Lot.

### SECTION 7.4.2 ORGANIZATION

#### 7.4.2.1 Organized by Primary, Accessory and Temporary Uses

The Use and Parking Table first presents all primary uses, then all accessory uses, and finally all temporary uses. Primary uses are arranged hierarchically within the table by use classification, category of primary uses, and then by specific use type. Accessory uses are organized by whether such use is accessory to a primary residential use or to a primary nonresidential use. Temporary uses are presented alphabetically ordered in the last division of the table.

#### 7.4.2.2 Primary Use Classifications, Categories & Specific Use Types

##### A. Primary Use Classifications

All primary land uses in the Use and Parking Table are organized into one of the following five general land use classifications:

1. Residential Uses
2. Civic, Public & Institutional Uses
3. Commercial Sales, Service & Repair Uses
4. Industrial, Manufacturing & Wholesale Uses
5. Agriculture

##### B. Primary Use Categories & Specific Use Types

Primary uses are further organized into use categories and specific use types listed under each general primary land use classification. The Use and Parking Table is organized into the above five general land use classifications, use categories and specific use types.

##### C. Classifications & Categories Are Mutually Exclusive

The general land use classifications and use categories listed in the Use and Parking Table are intended to be mutually exclusive; that is, a use classified into one use category, such as “lodging accommodations,” cannot be classified in a different use category, such as “group living,” unless otherwise expressly allowed by this Code.

### SECTION 7.4.3 EXPLANATION OF TABLE ABBREVIATIONS

#### 7.4.3.1 General Explanation of Table Cell Entries

In each of the table cells, the entry will indicate first whether use limitations apply to the specific use, and then separated by a hyphen, the type of zoning review required prior to establishment of the use under this Code. For example, as described in more detail below, a cell entry “L-ZPIN” means, first, the use is subject to use limitations (the “L”), and, second, that the use is subject to zoning permit review with information notice (the “ZPIN”) prior to its establishment.

### 7.4.3.2 Permitted, Limited, Not Permitted

#### A. Permitted Use - No Use Limitations Apply (“P”)

A “P” in a table cell indicates that the use is permitted in the respective zone district, and is not subject to use limitations.

#### B. Permitted Use - Subject to Use Limitations (“L”)

“L” in a table cell indicates the use is permitted in the zone district subject to compliance with the use limitations referenced in the last column of the use table (“Applicable Use Limitations”).

#### C. Uses Not Permitted (“NP”)

“NP” in a table cell indicates that the use is not permitted in the specific zone district.

### 7.4.3.3 Zoning Procedure

#### A. Use Subject to Zoning Permit Review (“ZP”)

“ZP” in a table cell indicates that the use is permitted in the respective zone district only if reviewed and approved according to the requirements in Section 12.4.1, Zoning Permit Review.

#### B. Use Subject to Zoning Permit Review with Informational Notice (“ZPIN”)

“ZPIN” in a table cell indicates that the use is permitted in the respective zone district only if reviewed and approved according to the public notice and procedural requirements in Section 12.4.2, Zoning Permit Review with Informational Notice. Such uses shall comply with any applicable use limitations noted in the last column of the use table (“Applicable Use Limitations”), as well as the review criteria stated in Section 12.4.2, Zoning Permit Review with Informational Notice.

#### C. Use Subject to Zoning Permit with Special Exception Review (“ZPSE”)

“ZPSE” in a table cell indicates that use is generally appropriate in the neighborhood context and zone district, yet may have the potential for limited impacts on adjacent properties or on the established character of the neighborhood context or zone district. “ZPSE” uses are subject to a Board of Adjustments public hearing according to Section 12.4.9, Zoning Permit with Special Exception Review, which grants the Board of Adjustment the authority to impose conditions on the specified use to mitigate any potential impacts. Such uses shall comply with any applicable use limitations noted in the last column of the use table (“Applicable Use Limitations”), as well as the review criteria stated in Section 12.4.9, Zoning Permit with Special Exception Review.

#### D. Uses Where More Than One Zoning Procedure Is Indicated

Where a table cell shows more than one zoning procedure applies to a use, for example “L-ZP/ZPIN”, the referenced use limitation (last table column) will indicate which zoning procedure applies in a specific case. For example, a table cell may indicate “L-ZPIN/ZPSE” for a use. This means that the ZPIN zoning procedure will apply, unless the applicable use limitation specifies the ZPSE zoning procedure is triggered (e.g., by proximity to a Protected District).

### 7.4.3.4 Enclosure of Uses

All primary, accessory and temporary uses must be established, operated and maintained within a completely enclosed structure, unless otherwise specifically allowed by this Code. The Use and Parking Tables in Articles 3-9 indicate when a use may be established, operated or maintained outside a completely enclosed structure by including an asterisk “\*” next to the specific use type. For example, the asterisk following the “Telecommunication Tower\*” use type in the tables indicates that a telecommunication tower land use need not be enclosed.

## SECTION 7.4.4 DISTRICT SPECIFIC STANDARDS

KEY: \* = Need Not be Enclosed P = Permitted Use without Limitations L = Permitted Use with Limitations NP = Not Permitted Use ZP = Zoning Permit Review ZPIN = Subject to Zoning Permit Review with Informational Notice ZPSE = Subject to Zoning Permit with Special Exception Review  
When no ZP, ZPIN, ZPSE listed = No Zoning Permit required

USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	APPLICABLE USE LIMITATIONS				
		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
<b>RESIDENTIAL PRIMARY USE CLASSIFICATION</b>						
Household Living	Dwelling, Single Unit • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.5; \$11.2.6
	Dwelling, Two Unit • Vehicle - CCN districts only:1/unit • Vehicle: 0.75/unit • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.5; \$11.2.6
	Dwelling, Multi-Unit • Vehicle - CCN districts only:1/unit • Vehicle: 0.75/unit • Bicycle: 1/ 2 units (80/20)	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.5; \$11.2.6
	Dwelling, Live / Work • Vehicle - CCN districts only:1/unit • Vehicle: 0.75/unit • Bicycle: 1/ 2 units (80/20)	L-ZP	L-ZP	L-ZP	L-ZP	\$11.2.4; \$11.2.5; \$11.2.6
Group Living	Assisted Living Facility • Vehicle: .75/unit • Bicycle: 1/10 units (50/50)	P-ZP	P-ZP	P-ZP	P-ZP	
	Community Corrections Facility	NP	NP	NP	NP	
	Nursing Home, Hospice • Vehicle - CCN districts only:1/unit • Vehicle: .75/unit • Bicycle: 1/10 units (50/50)	P-ZP	P-ZP	P-ZP	P-ZP	
	Residence for Older Adults • Vehicle - CCN districts only:1/unit • Vehicle: .75/unit • Bicycle: 1/10 units (50/50)	P-ZP	P-ZP	P-ZP	P-ZP	
	Residential Care Use, Small or Large • Vehicle: No requirement • Bicycle: 1/10 units (50/50)	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	\$11.2.9
	Rooming and Boarding House • Vehicle - MS only: 2/ 1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: No requirement	P-ZP	P-ZP	P-ZP	NP	
	Shelter for the Homeless • Vehicle: No requirement • Bicycle: No requirement	L-ZPIN/L	L-ZPIN/L	L-ZPIN/L	L-ZPIN/L	\$ 11.2.11
	Student Housing • Vehicle - CCN districts only:1/unit • Vehicle: 0.75/unit • Bicycle: 1/ 2 units (80/20)	P-ZP	P-ZP	P-ZP	P-ZP	
<b>CIVIC, PUBLIC &amp; INSTITUTIONAL PRIMARY USE CLASSIFICATION</b>						
Basic Utilities	Utility, Major Impact* • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	L-ZPSE	L-ZPSE	L-ZPSE	L-ZPSE	\$ 11.3.1
	Utility, Minor Impact* • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	\$ 11.3.2

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USE CATEGORY	SPECIFIC USE TYPE •Vehicle Parking Reqmt: # spaces per unit of measurement •Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)					APPLICABLE USE LIMITATIONS
		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
Community/ Public Services	Community Center •Vehicle: No requirement •Bicycle: 1/10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.3
	Day Care Center •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	
	Postal Facility, Neighborhood •Vehicle - CCN districts only: 2.5/1,000 sf GFA •Vehicle: 1.25/ 1,000 sf GFA •Bicycle: 1/7,500 sf GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	
Community/ Public Services	Postal Processing Center •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/7,500 sf GFA(20/80)	NP	P-ZP	P-ZP	NP	
	Public Safety Facility •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	L-ZP	P-ZP	P-ZP	P-ZP	§ 11.3.5
	Hospital	NP	NP	NP	NP	
	Correctional Institution	NP	NP	NP	NP	
Cultural/Special Purpose/Pub- lic Parks & Open Space	Cemetery*	NP	NP	NP	NP	
	Library •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	
	Museum •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	NP	P-ZP	P-ZP	P-ZP	
	City Park*	NP	NP	NP	NP	
	Open Space - Conservation* •No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	
Education	Elementary or Secondary School •Vehicle: 1/1,000 sf GFA •Bicycle: 1/10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.8
	University or College •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.3.8; §11.3.9
	Vocational or Professional School •Vehicle: 1/ 1,000 sf GFA •Bicycle: 1/ 10,000 sf GFA (0/100)	NP	L-ZP	L-ZP	L-ZP	§ 11.3.8
Public and Religious As- sembly	All Types •Vehicle: No requirement •Bicycle: 1/10,000 sf GFA (0/100)	L-ZP	P-ZP	P-ZP	P-ZP	§ 11.3.10
<b>COMMERCIAL SALES, SERVICES, &amp; REPAIR PRIMARY USE CLASSIFICATION</b>						
Adult Business	All Types	NP	NP	NP	NP	See Section 9.4.4, Use Overlay Districts, for adult business use allowance in the UO-1 District.

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		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
Arts, Recreation & Entertainment	Arts, Recreation and Entertainment Services, Indoor • Vehicle - Artist Studio: 0.3/1000 sf GFA • Vehicle - CCN districts only: 2.5/1,000 sf GFA • Vehicle - All Others: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	
	Arts, Recreation and Entertainment Services, Outdoor* • Vehicle - CCN districts only: 2.5/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA(20/80)	L-ZPIN	L-ZPSE	L-ZPSE	L-ZPIN	§ 11.4.3
	Event Space with Alternate Parking and Loading* • Vehicle: No requirement • Bicycle: No requirement	NP	NP	NP	NP	
	Sports and/or Entertainment Arena or Stadium*	NP	NP	NP	NP	
Nonresidential Uses in Existing Business Structures In Residential Zones (All Uses Shall Be Parked According to the Parking Requirement Stated in this Use Table for the Specific Nonresidential Use)		L-ZPIN	Not Applicable	Not Applicable	Not Applicable	§11.4.6
Parking of Vehicles	Parking, Garage • No Parking Requirements	P-ZP	P-ZP	P-ZP	L-ZP	§7.3.5.2
	Parking, Surface*	NP	NP	NP	NP	
Eating & Drinking Establishments	All Types • Vehicle - MS only: 2/ 1,000 sf GFA • Vehicle: 2.5/ 1,000 sf GFA • Bicycle: 1/1,500 sf GFA (0/100)	P-ZP	P-ZP	P-ZP	P-ZP	
Lodging Accommodations	Bed and Breakfast Lodging • Vehicle: 0.875/guest room or unit • Bicycle: 1/ 7,500 sf GFA (60/40)	P-ZP	P-ZP	P-ZP	P-ZP	
	Lodging Accommodations, All Others • Vehicle: 0.5/ guest room or unit • Bicycle: 1/ 7,500 sf GFA (60/40)	P-ZP	P-ZP	P-ZP	P-ZP	
Office	Dental / Medical Office or Clinic • Vehicle - CCN districts only: 2/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA (60/40)	L-ZP	L-ZP	L-ZP	L-ZP	§11.4.10
	Office, All Others • Vehicle - CCN districts only: 2/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA (60/40)	P-ZP	P-ZP	P-ZP	P-ZP	

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USE CATEGORY	SPECIFIC USE TYPE • Vehicle Parking Reqmt: # spaces per unit of measurement • Bicycle Parking Reqmt : # spaces per unit of measurement (% Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)					APPLICABLE USE LIMITATIONS
		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
Retail Sales, Service & Repair (Not Including Vehicle or Equipment Sales, Service & Repair)	Animal Sales and Services, Household Pets Only • Vehicle - CCN districts only: 2.5/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA(20/80)	L-ZP	L-ZP	L-ZP	L-ZP	§11.4.12
	Animal Sales and Services, All Others	NP	NP	NP	NP	
	Food Sales or Market • Vehicle - CCN districts only: 2.5/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA (20/80)	L-ZP	P-ZP	P-ZP	P-ZP	§11.4.14
	Pawn Shop	NP	NP	NP	NP	
	Retail Sales, Service & Repair -- Outdoor*	NP	NP	NP	NP	
	Retail Sales, Service & Repair - Firearms Sales • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA(20/80)	NP	NP	P-ZP	NP	
	Retail Sales, Service & Repair, All Others • Vehicle - CCN districts only: 2.5/1,000 sf GFA • Vehicle: 1.25/ 1,000 sf GFA • Bicycle: 1/7,500 sf GFA (20/80)	P-ZP	P-ZP	P-ZP	P-ZP	
Vehicle / Equipment Sales, Rentals, Service & Repair	Automobile Emissions Inspection Facility	NP	NP	NP	NP	
	Automobile Services, Light • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	L-ZP	L-ZP	§11.4.18 §11.4.19
	Automobile Services, Heavy • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	NP	NP	L-ZP/ZPSE	NP	§11.4.18 §11.4.20
	Automobile / Motorcycle / Light Truck Sales, Rentals, Leasing; Pawn Lot or Vehicle Auctioneer* • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	§11.4.21
	Heavy Vehicle/ Equipment Sales, Rentals & Service*	NP	NP	NP	NP	

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		C-MX-3 C-MX-5 C-MX-8 C-RX-5 C-RX-8 C-RX-12	C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
<b>INDUSTRIAL, MANUFACTURING &amp; WHOLESALE PRIMARY USE CLASSIFICATION</b>						
Communications and Information	Antennas Not Attached to a Tower* • No Parking Requirements	L-ZP	L-ZP	L-ZP	L-ZP	§11.5.2
	Communication Services • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	P-ZP	C-MX-3: L-ZP/ZPSE All Others: P-ZP	P-ZP	P-ZP	§11.5.1
	Telecommunications Towers* • No Parking Requirements	L-ZP/ZPIN/ ZPSE	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	§11.5.2
	Telecommunications Tower - Alternative Structure* • No Parking Requirements	L-ZP/ZPIN	L-ZP/ZPIN	L-ZP/ZPIN	L-ZP/ZPIN	§11.5.2
	Telecommunication Facilities -- All Others* • No Parking Requirements	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	§11.5.2
Industrial Services	Contractors, Special Trade - General • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	L-ZP	NP	§11.5.3
	Contractors, Special Trade - Heavy/ Contractor Yard*	NP	NP	NP	NP	
	Food Preparation and Sales, Commercial • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	L-ZP	L-ZP	§ 11.5.5
	Laboratory, Research, Development and Technological Services • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	L-ZP	NP	§11.5.6
	Service/Repair, Commercial • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	L-ZP	NP	§11.5.7
Manufacturing and Production	Manufacturing, Fabrication & Assembly -- Custom • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	L-ZPIN	L-ZP	L-ZP	L-ZP	§11.5.8
	Manufacturing, Fabrication & Assembly -- General	NP	NP	NP	NP	
	Manufacturing, Fabrication & Assembly -- Heavy	NP	NP	NP	NP	
Mining & Extraction and Energy Producing Systems	Oil, Gas -- Production, Drilling*	NP	NP	NP	NP	
	Sand or Gravel Quarry*	NP	NP	NP	NP	
	Wind Energy Conversion Systems* • No Parking Requirements	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	§11.5.13

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		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
Transportation Facilities	Airport*	NP	NP	NP	NP	
	Helipad, Helistop, Heliport* • No Parking Requirements	L-ZPIN	L-ZP	L-ZP	NP	§11.5.14
	Railroad Facilities*	NP	NP	NP	NP	
	Railway Right-of-Way* • No Parking Requirements	P-ZP	P-ZP	P-ZP	P-ZP	
	Terminal, Station or Service Facility for Passenger Transit System • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	P-ZP	P-ZP	P-ZP	P-ZP	
	Terminal, Freight, Air Courier Services	NP	NP	NP	NP	
Waste Related Services	Automobile Parts Recycling Business*	NP	NP	NP	NP	
	Junkyard*	NP	NP	NP	NP	
	Recycling Center	NP	NP	NP	NP	
	Recycling Collection Station	NP	NP	NP	NP	
	Recycling Plant, Scrap Processor	NP	NP	NP	NP	
Wholesale, Storage, Warehouse & Distribution	Solid Waste Facility	NP	NP	NP	NP	
	Automobile Towing Service Storage Yard*	NP	NP	NP	NP	
	Mini-storage Facility • Vehicle: 0.1/ 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP	NP	NP	§11.5.23
	Vehicle Storage, Commercial*	NP	NP	NP	NP	
	Wholesale Trade or Storage, General	NP	NP	NP	NP	
Wholesale Trade or Storage, Light • Vehicle: .5 / 1,000 sf GFA • Bicycle: No requirement	NP	L-ZP/ZPIN/ ZPSE	L-ZP/ ZPIN/ ZPSE	NP	§11.5.26	
<b>AGRICULTURE PRIMARY USE CLASSIFICATION</b>						
Agriculture	Aquaculture*	NP	NP	NP	NP	
	Garden, Urban* • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.6.2
	Husbandry, Animal*	NP	NP	NP	NP	
	Husbandry, Plant*	NP	NP	NP	NP	
Plant Nursery • Vehicle: .5/ 1,000 sf GFA • Bicycle: No requirement	L-ZP	L-ZP	L-ZP	L-ZP	§ 11.6.5	

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USE CATEGORY	SPECIFIC USE TYPE					APPLICABLE USE LIMITATIONS
	• Vehicle Parking Reqmt: # spaces per unit of measurement	C-MX-3			C-CCN-3	
	• Bicycle Parking Reqmt : # spaces per unit of measurement (%)	C-MX-5			C-CCN-4	
	Required Spaces in Enclosed Facility /% Required Spaces in Fixed Facility)	C-MX-8			C-CCN-5	
		C-RX-5	C-MX-12	C-MS-5	C-CCN-7	
		C-RX-8	C-MX-16	C-MS-8	C-CCN-8	
		C-RX-12	C-MX-20	C-MS-12	C-CCN-12	
ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION						
Accessory to Primary Residential Uses  (Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts				§11.7
	Accessory Dwelling Unit	L-ZP	L-ZP	L-ZP	L-ZP	§11.7; §11.8.2
	Domestic Employee	L	L	L	L	§11.7; §11.8.3
	Garden*	L	L	L	L	§11.7; §11.8.4
	Keeping of Household Animals*	L/L-ZPIN	L/L-ZPIN	L/L-ZPIN	L/L-ZPIN	§11.7; §11.8.5
	Keeping and Off-Street Parking of Vehicles, Motorcycles, Trailers & Recreational Vehicles*	L	L	L	L	§11.7; §10.9
	Kennel or Exercise Run*	L	L	L	L	§11.7; §11.8.6
	Limited Commercial Sales, Services Accessory to Multi-Unit Dwelling Use	L-ZP	Not Applicable - See Permitted Primary Uses			§11.7; §11.8.7
	Outdoor Storage, Residential*	L	L	L	L	§11.7; §11.8.8
	Second Kitchen Accessory to Single Unit Dwelling Use	NP	NP	NP	NP	
	Short-term Rental	L	L	L	L	§11.7; §11.8.10
	Vehicle Storage, Repair and Maintenance*	L	L	L	L	§11.7; §10.9
Wind Energy Conversion Systems*	L-ZPIN/ ZPSE	Not Applicable - See Permitted Primary Uses			§11.7; §11.5.13	
Yard and/or Garage Sales*	L	L	L	L	§11.7; §11.8.11	
HOME OCCUPATIONS ACCESSORY TO PRIMARY RESIDENTIAL USES USE CLASSIFICATION						
Home Occupations  (Parking is Not Required for Home Occupations Unless Specifically Stated in this Table or in an Applicable Use Limitations)	Child Care Home, Large	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	§11.9; §11.9.3
	All Other Types	L-ZP	L-ZP	L-ZP	L-ZP	§11.9; §11.9.4
	Unlisted Home Occupations	L-ZPIN	L-ZPIN	L-ZPIN	L-ZPIN	§11.9; §11.9.5

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		C-RX-5 C-RX-8 C-RX-12	C-MX-3 C-MX-5 C-MX-8 C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
<b>ACCESSORY TO PRIMARY NONRESIDENTIAL USES USE CLASSIFICATION</b>						
Accessory to Primary Non-residential Uses  (Parking is Not Required for Accessory Uses Unless Specifically Stated in this Table or in an Applicable Use Limitation)	Unlisted Accessory Uses	L - Applicable to all Zone Districts				\$11.7; 11.10.1
	Amusement Devices Accessory to Eating/Drinking Establishments, College/University and Theater Uses	NP	L-ZP	L-ZP	L-ZP	\$11.7; §11.10.2
	Automobile Rental Services Accessory to Certain Retail Uses*	Not Applicable - See Permitted Primary Uses	Not Applicable - See Permitted Primary Uses	Not Applicable - See Permitted Primary Uses	NP	\$11.7; §11.10.3
	Book or gift store; media recording and production facilities accessory to public libraries, museums, places of religious assembly, colleges or universities	Not Applicable - See Permitted Primary Uses				\$11.7; §11.10.4
	Car Wash Bay Accessory to Automobile Services or Hotel Uses	NP	NP	NP	NP	
	College accessory to a Place for Religious Assembly	Not Applicable - See Permitted Primary Uses				\$11.7; §11.10.6
	Conference Facilities Accessory to Hotel Use	NP	L	L	NP	\$11.7; §11.10.7
	Drive Through Facility Accessory to Eating/Drinking Establishments and to Retail Sales, Service, and Repair Uses*	NP	L-ZP	L-ZP	NP	\$11.7; §11.10.8
	Emergency Vehicle Access Point Garden*	NP	NP	NP	NP	
	Keeping of Animals	L/L-ZPIN	L/L-ZP/ L-ZPIN	L/L-ZP/ L-ZPIN	L/L-ZP/ L-ZPIN	\$11.7; § 11.10.11
	Nonresidential Uses in Existing Business Structures In Residential Zones - Accessory Uses	Not Applicable - See Permitted Primary Uses	Not Applicable			\$11.4.6
	Occasional Sales, Services Accessory to Places of Religious Assembly*	L	L	L	L	\$11.7; §11.10.12
	Outdoor Eating and Serving Area Accessory to Eating/Drinking Establishment Use*	L-ZP/ZPSE	L-ZP/ZPSE	L-ZP/ZPSE	L-ZP/ZPSE	\$11.7; §11.10.13
	Outdoor Entertainment Accessory to an Eating/Drinking Establishment Use*	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	L-ZPIN/ ZPSE	\$11.7; §11.10.14
	Outdoor Retail Sale and Display*	NP	L-ZP	L-ZP/ZPSE	L-ZP/ZPSE	\$11.7; §11.10.15
	Outdoor Storage, General*	NP	NP	NP	NP	
Outdoor Storage, Limited*	NP	L	L	L	\$11.7; §11.10.17	
Rental or Sales of Adult Material Accessory to a Permitted Bookstore Retail Sales Use	L	L	L	L	\$11.7; §11.10.18	

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		C-MX-3 C-MX-5 C-MX-8 C-RX-5 C-RX-8 C-RX-12	C-MX-12 C-MX-16 C-MX-20	C-MS-5 C-MS-8 C-MS-12	C-CCN-3 C-CCN-4 C-CCN-5 C-CCN-7 C-CCN-8 C-CCN-12	
<b>TEMPORARY USE CLASSIFICATION</b>						
Temporary Uses  (Parking is Not Required for Temporary Uses Unless Specifically Stated in this Table or in an Applicable Use Limitations)	Unlisted Temporary Uses	L - Applicable to all Zone Districts				§11.11.1
	Ambulance Service - Temporary	L-ZP	Not Applicable - See Permitted Primary Uses			§11.11.2
	Amusement / Entertainment - Temporary*	NP	NP	NP	NP	
	Bazaar, Carnival, Circus or Special Event*	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.4
	Building or yard for construction materials*	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.5
	Concrete, Asphalt, and Rock Crushing Facility*	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.6
	Fence for Demolition or Construction Work	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.7
	Health Care Center	L-ZP	P-ZP	P-ZP	P-ZP	§11.11.8
	Noncommercial Concrete Batching Plant*	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.9
	Outdoor Retail Sales - Pedestrian / Transit Mall*	NP	NP	NP	NP	
	Outdoor Retail Sales*	L-ZP	L-ZP	NP	L-ZP	§11.11.11
	Outdoor Sales, Seasonal*	L-ZPIN	L-ZP	L-ZP	L-ZP	§11.11.12
	Parking Lot Designated for a Special Event*	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.13
	Retail Food Establishment, Mobile*	NP	L-ZP	NP	L-ZP	§11.11.14
	Temporary Construction Office	L-ZP	L-ZP	L-ZP	NP	§11.11.15
	Temporary Office - Real Estate Sales	L-ZP	L-ZP	L-ZP	NP	§11.11.16
	Temporary Tiny Home Villages	L-ZP	L-ZP	L-ZP	L-ZP	§11.11.17
Tent for Religious Services	NP	NP	NP	NP		

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