

# 2600 & 2602 WALNUT - OFFICE SITE DEVELOPMENT PLAN

LOCATED IN THE NE 023, 35, 68W, CITY & COUNTY OF DENVER, STATE OF COLORADO  
2600 Walnut Street

## LEGAL DESCRIPTION

L 13 TO 16 INC BLK 28 CASE & EBERTS ADD



VICINITY MAP  
SCALE: 1" = 1000'

## GENERAL NOTES

- Fences, walls, signs and accessory structures are subject to separate reviews and permits.
- Angles not shown are either 90 degrees or a supplement of the angle indicated.
- Private roadways will be posted with "Fire Lane" signs as required by the Denver Fire Department.
- Parking spaces for persons with disabilities will be clearly delineated with upright signs.
- Approval for this plan does not constitute or imply compliance with ADA requirements.
- Site(s) shall be landscaped prior to issuance of a final Certificate of Occupancy (CO) during the growing season of April 1<sup>st</sup> to October 1<sup>st</sup>, at all other times the individual sites shall be landscaped within 45 (forty-five) days of the start of the following growing season.
- An access easement for emergency services is hereby granted on and across all areas for police, fire, medical and other emergency vehicles and for the provision of emergency services.
- All landscape areas shall be irrigated with underground automatic irrigation system. Trees, shrubs, and decorative grasses will be irrigated by a separate zone from sod/grass; this includes trees planted in sod/grass area. The irrigation system is to have a rain sensor shutoff installed.
- Private roadways are non-dedicated streets and will not be maintained by the City and County of Denver (use this note only if applicable)

## PROJECT STATISTICAL INFORMATION

Zone Lot Size (Gross Project Area)	±12,501	±0.2870
Area to be deeded for additional right-of-way	0	0
Net project area (after deeding of any needed public right-of-way)	±12,501	±0.2870
Primary and Side Street Designations	PRIMARY STREET = WALNUT ST. SIDE STREET = 26TH ST.	
Proposed Use (s)	2600 WALNUT OFFICE & PROFESSIONAL STUDIO FOR PHOTOGRAPHY 2602 WALNUT UNKNOWN AT THIS TIME	
Number of dwelling units (residential projects only)	N/A	
Gross Floor Area for each use ( for non residential and mixed-use projects)	2600 WALNUT 5,568 SF (INCLUDING 300 SF ROOFTOP ADDITION) 2602 WALNUT 5,342 SF	
Building Form Used	GENERAL	
Design Elements	Required	Provided
Building Height, Stories ( min/max)	3 (MAX.)	2
Building Height, Feet (min/max)	45'-0" (MAX.)	29'-4"
Build-To	Required	Provided
Primary Street Total Build-To (min % within min/max)	50% (0'/10')	100%
Refer to Sheet 2 for details		
Side Street Total Build-to (min % within min/max)	N/A	N/A
Overall Buildings or Structure Length (max)	N/A	N/A
Parking	Required (min/max)	Provided
Standard spaces	0	0
Compact spaces	0	0
Accessible	0	0
Total	0	0
EXEMPT FROM PARKING REQUIREMENTS PER SECTION 10.4.2.1.C.2.b, CHANGE OF USE IN EXISTING BUILDINGS BUILT PRIOR TO 1967.		
Bicycle (enclosed/fixd)	0	0
Loading spaces	0	0
Ground Story Activation (Transparency)	Required (min)	Provided
Total Transparency Primary Street (%)	40%	39.5%*
REFER TO SHEET 6 OF 6 FOR ANALYSES		
Total Transparency Side Street (%)	25%	33.3%*
REFER TO SHEET 6 OF 6 FOR ANALYSES		

\*PER D2C 12.6.3.2.E & 13.1.6.2.A.6, If the total linear feet of windows and permitted alternatives in the zone of transparency is already below the required amount, it shall not be further reduced.

OWNER'S SIGNATURE

I (WE), the undersigned, shall comply with all regulations contained in Denver Zoning Code.  
The following signatures constitute all owners and holders of deeds of trust for land and structures included in this plan:

CORNER, C.C.  
BY: *[Signature]* DATE: 04-07-2017

State of Colorado  
City and County of Denver

The foregoing instrument was acknowledged before me this 23<sup>rd</sup> day of April, AD 2017, by *[Signature]*

Witness my hand and official seal  
My commission expires: 01/04/2020

*[Signature]*  
Notary Public  
100 Jackson St., Suite 200  
Denver, CO 80202

APPROVALS

Approved by: *[Signature]* S. 10. 17  
City and County of Denver Zoning Administrator Date

Approved by: *[Signature]* S. 11. 17  
For the Manager of Community Planning and Development Date

CLERK AND RECORDER'S CERTIFICATION

State of Colorado  
JSS.  
City and County of Denver

I hereby certify that this instrument was filed for record in my office at 8:57 o'clock A.M. 5/23/17 and duly recorded under Reception # 2017067391

*[Signature]*  
Clerk and Recorder, Ex-Officio Clerk of the City and County of Denver

By: *[Signature]* Deputy  
Fee: \$83.00

## Project Directory

### CLIENT

JEFF PADRICK  
CORNER 26 LLC  
3061 S. JOSEPHINE ST.  
DENVER, CO 80210  
V: 720.971.6995  
E: JEFF@KLUGSTUDIO.COM  
E: CYNTHIA@KLUGSTUDIO.COM

### ARCHITECT

LUBOWICKI ARCHITECTURE + DESIGN, INC.  
STEVE LJBOWICKI  
863 SAN AN FE DRIVE  
DENVER CO 80204  
V: 720.904.9808 F: 720.904.9807  
E: INFO@LUBOWICKI.COM

### CIVIL ENGINEERS

ARROW CIVIL ENGINEERS  
SUSAN P. MIZUNO  
2629 E GEDDES AVE.  
CENTENNIAL, CO 80122  
V: 303.329.9004  
E: SUE@ARROWCIVILENGINEERS.COM

## Sheet Index

- COVER SHEET
- SITE PLAN / DETAILS
- UTILITY & GRADING PLAN
- LANDSCAPE PLAN
- DETAILS
- ARCHITECTURAL BUILDING ELEVATIONS
- A6 BASEMENT & 1ST FLOOR PLANS
- A7 2ND FLOOR & ROOF PLANS

2600 & 2602  
WALNUT

2600 Walnut Street,  
Denver, CO 80205

## Date & Phase

Site Development Plan 03.08.2016  
Revision: 06.06.2016  
Revision: 01.23.2017  
Revision: 03.06.2017

COVER SHEET

1 OF 6

project info

issue / date

sheet title

sheet no.

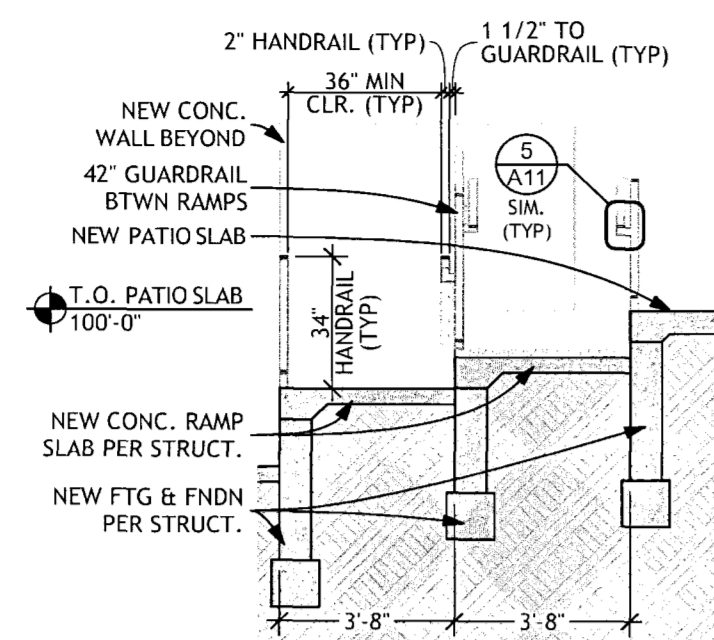


# 2600 & 2602 WALNUT - OFFICE SITE DEVELOPMENT PLAN

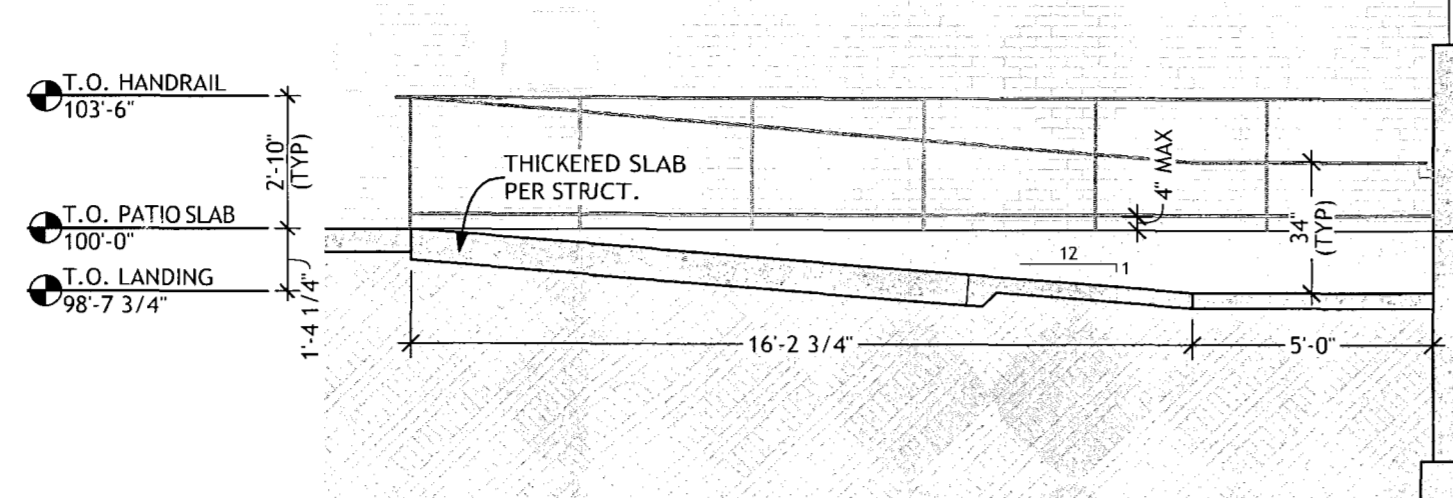
LOCATED IN THE NE 023, 35, 68W, CITY & COUNTY OF DENVER, STATE OF COLORADO  
2600 Walnut Street

BUILD-TO ANALYSIS	REQUIRED	PROVIDED
<b>PRIMARY STREET: WALNUT STREET</b>		
TOTAL BUILD-TO (MIN: 50% WITHIN 0'/10')	50.0%	100%
ZONE LOT STREET FRONTAGE LENGTH: 99.96'		
BUILDING LENGTH: 99.96'		
<b>SIDE STREET: 26TH STREET</b>		
TOTAL BUILD-TO (MIN: 50% WITHIN 0'/10')	N/A	79.7%
ZONE LOT STREET FRONTAGE LENGTH: 123.06'		
BUILDING LENGTH: 98.12'		

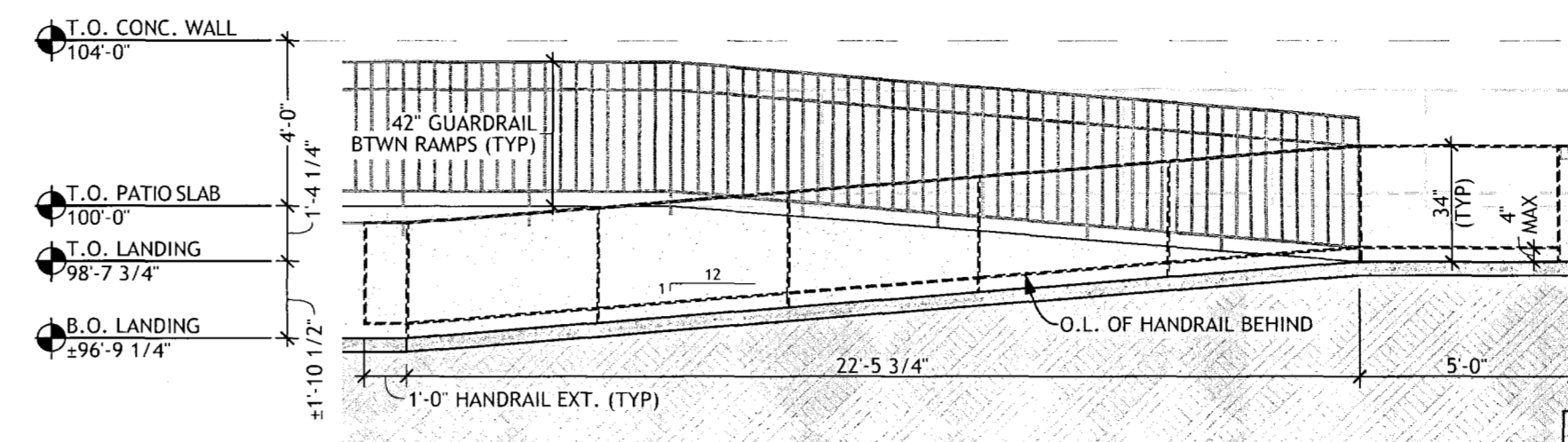
NOTE:  
ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC R.O.W., SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.



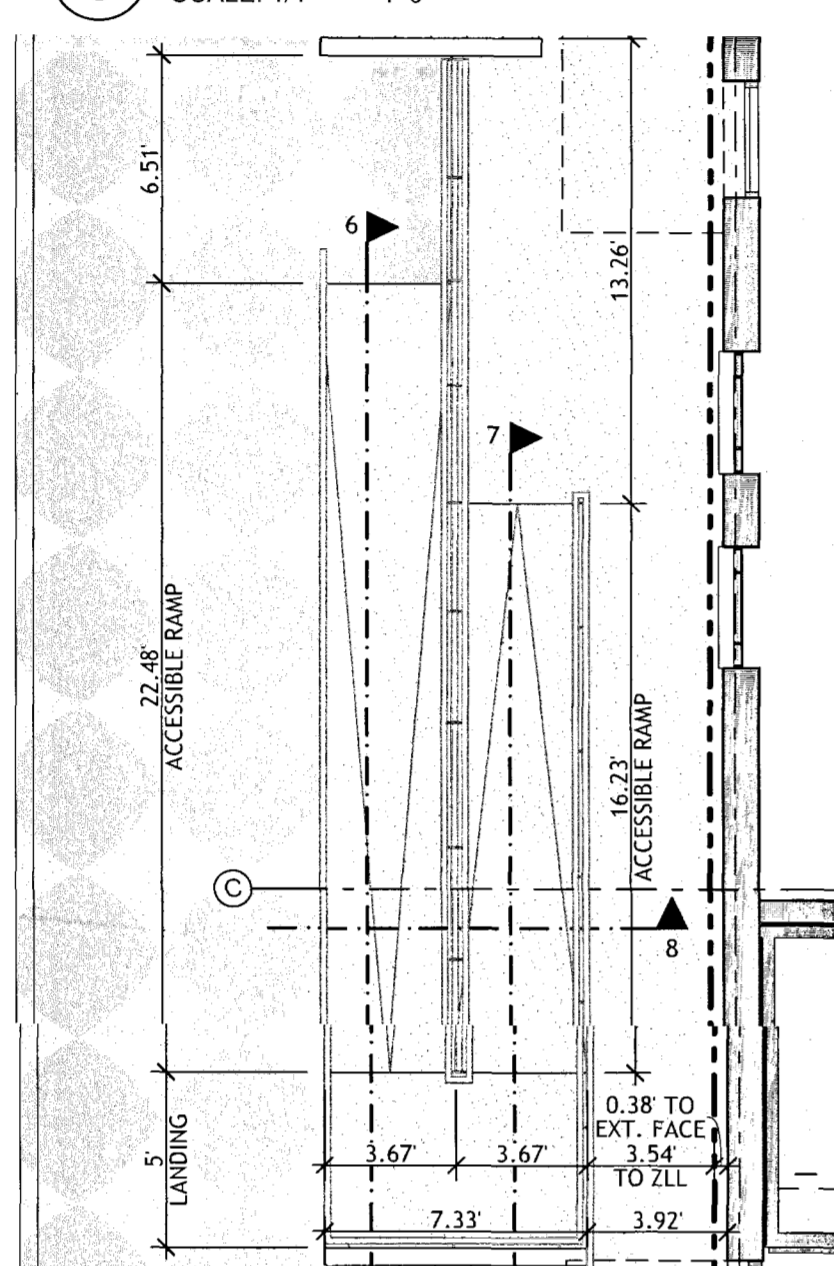
**8 RAMP SECTION E/W**  
SCALE: 1/4" = 1'-0"



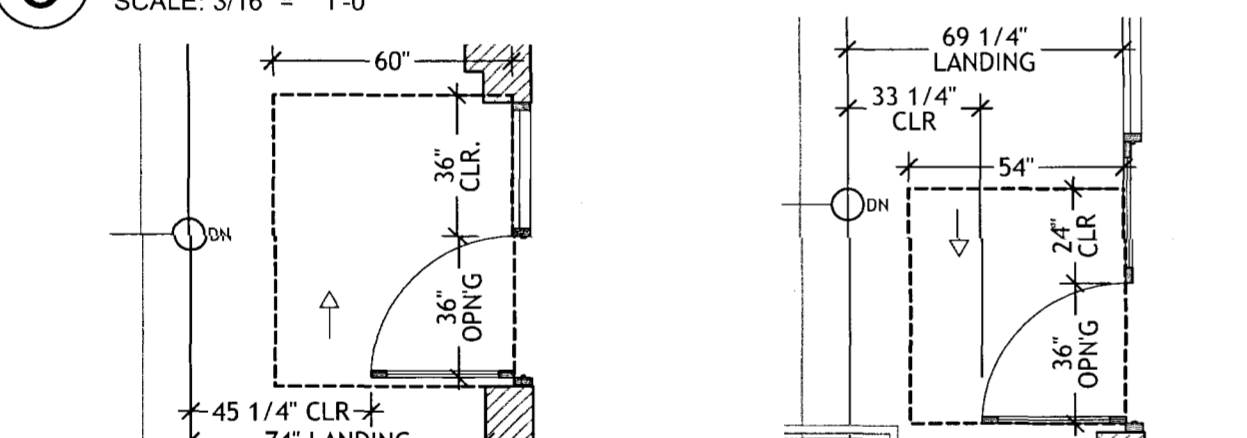
**7 UPPER RAMP SECTION N/S**  
SCALE: 1/4" = 1'-0"



**6 LOWER RAMP SECTION N/S**  
SCALE: 1/4" = 1'-0"

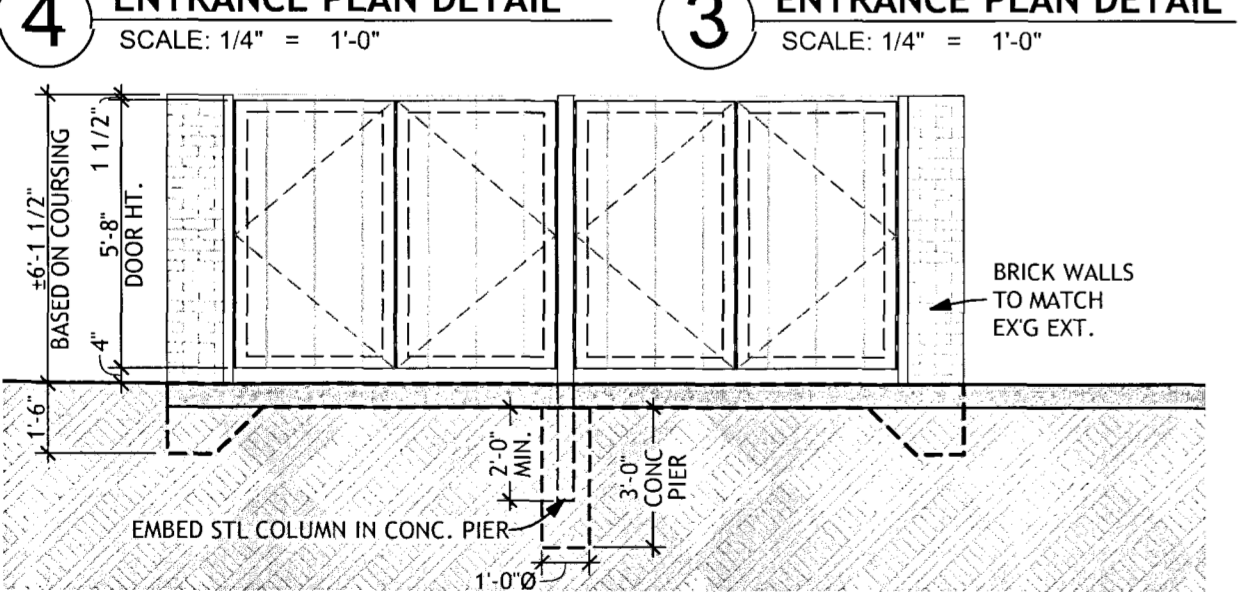


**5 ENLARGED RAMP PLAN**  
SCALE: 3/16" = 1'-0"

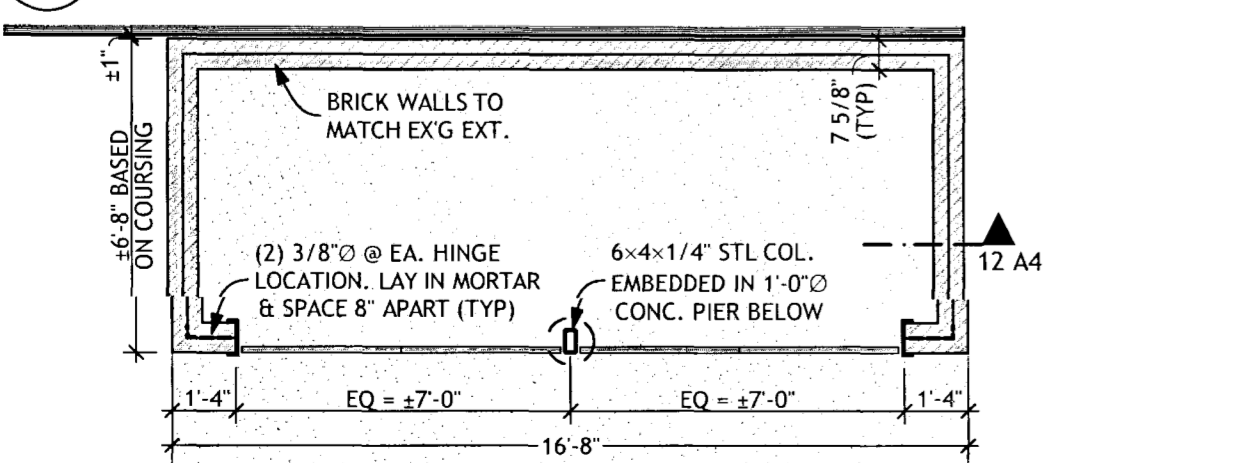


**4 NORTH UNIT ACCESSIBLE ENTRANCE PLAN DETAIL**  
SCALE: 1/4" = 1'-0"

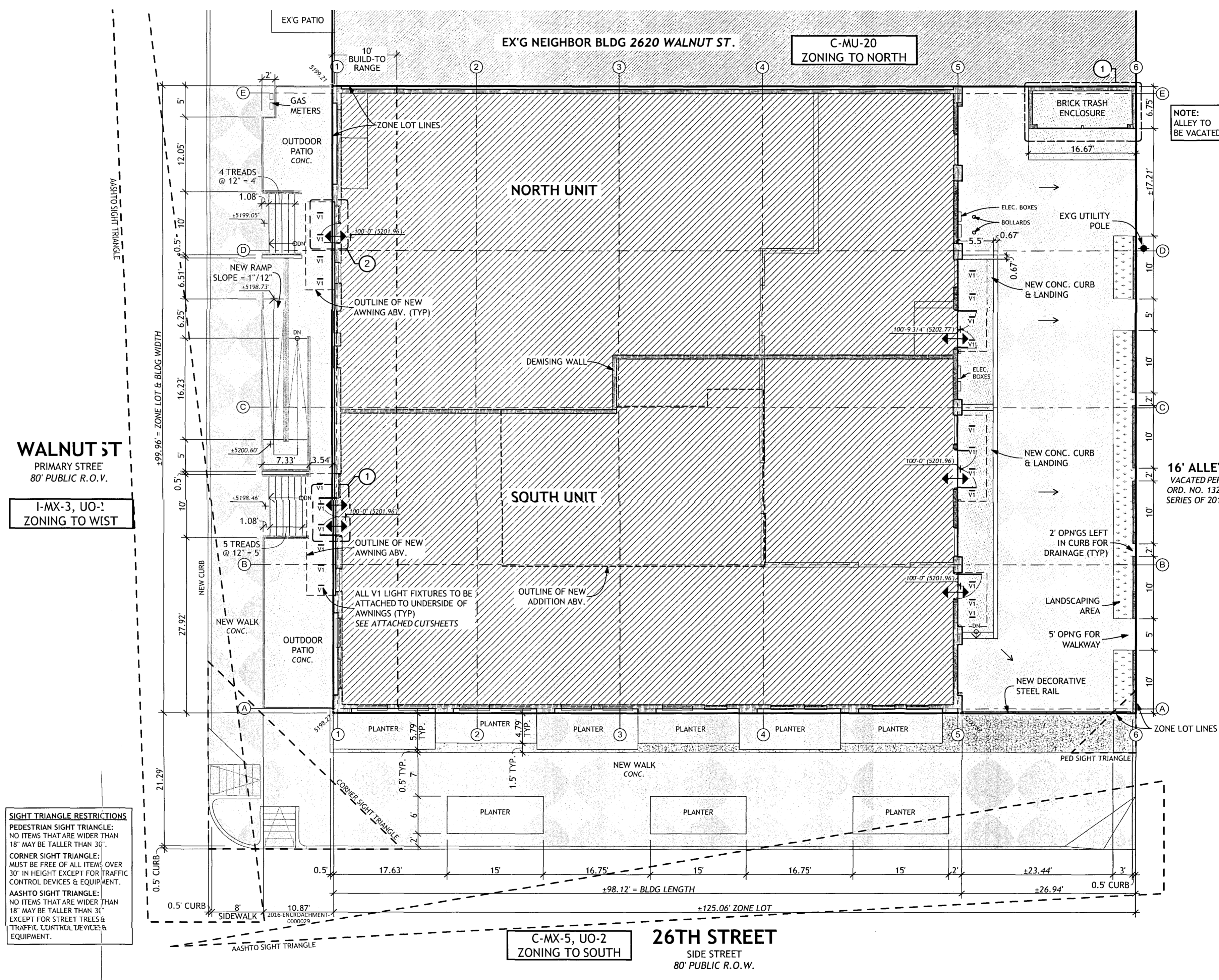
**3 SOUTH UNIT ACCESSIBLE ENTRANCE PLAN DETAIL**  
SCALE: 1/4" = 1'-0"



**2 TRASH ENCLOSURE SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 TRASH ENCLOSURE PLAN DETAIL**  
SCALE: 1/4" = 1'-0"



**SITE PLAN**  
SCALE: 1" = 10'

2600 & 2602 WALNUT

2600 Walnut Street, Denver, CO 80205

Date & Phase

Site Development Plan	03.08.2016
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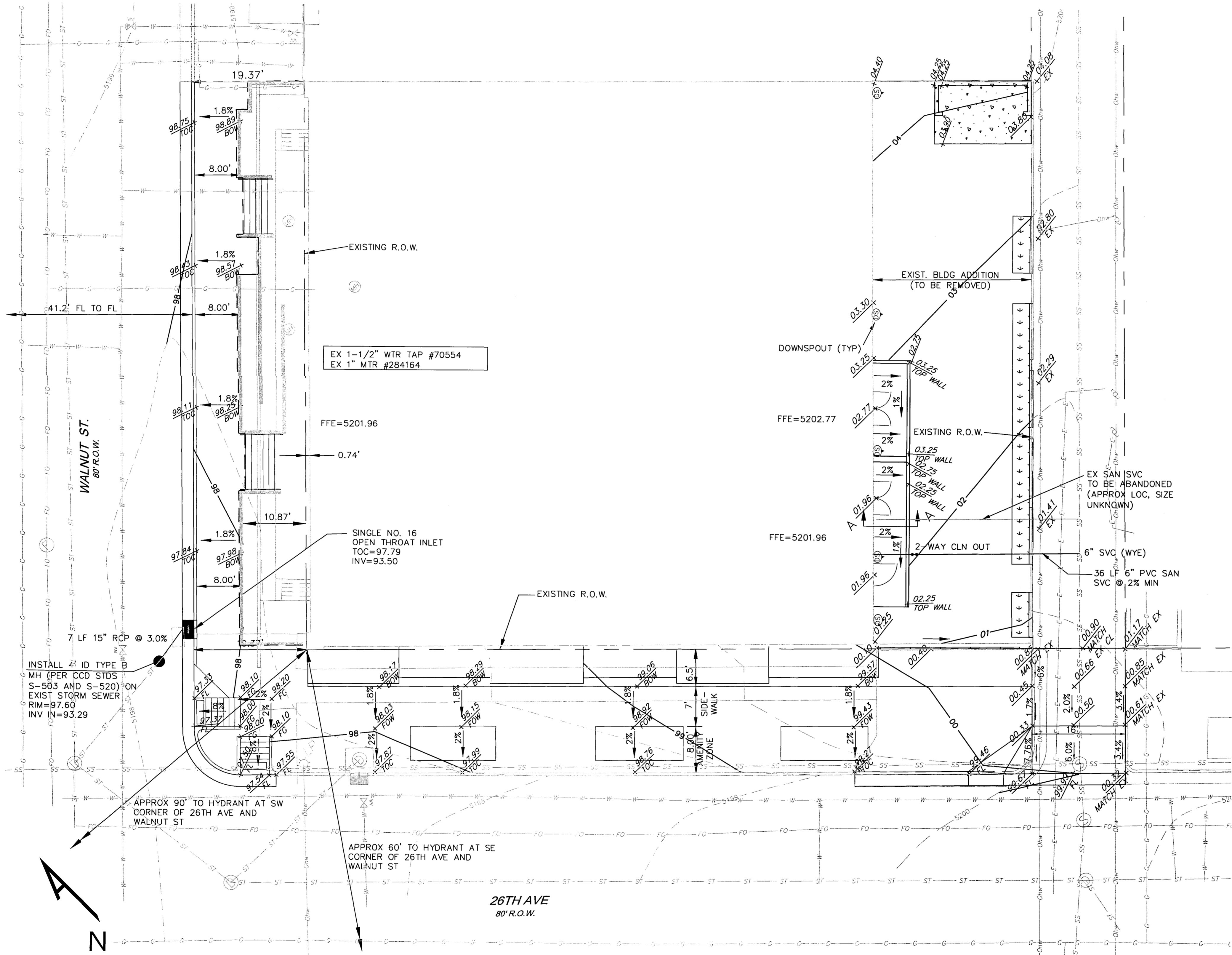
SITE PLAN / DETAILS

2 OF 6



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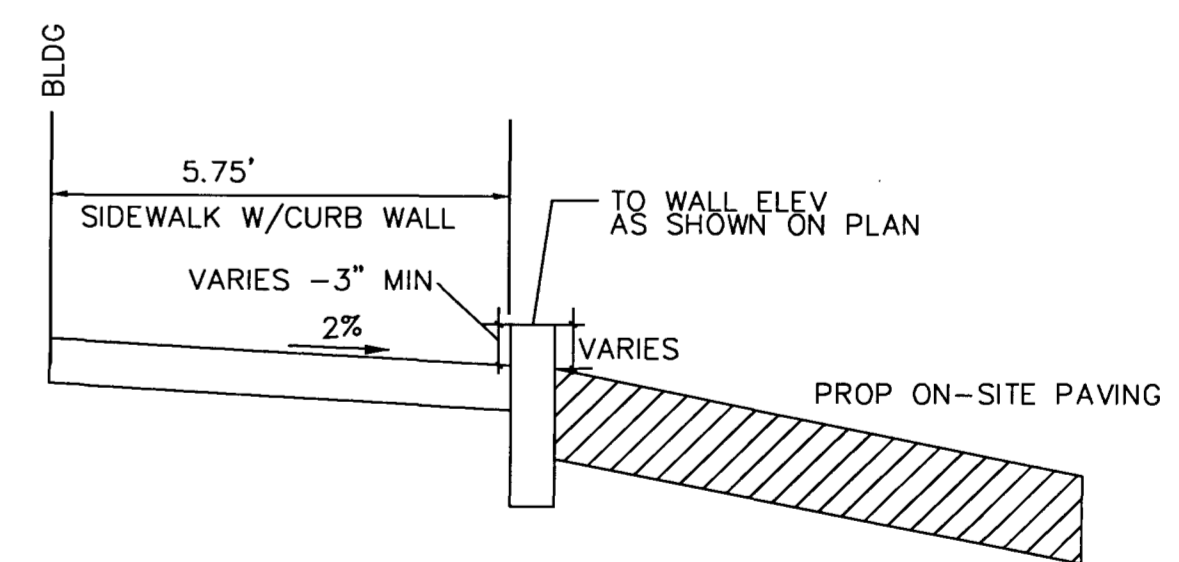
### DENVER WATER NOTES

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DW FOR REVIEW & APPROVAL SEPARATE OF THE DRC PROCESS.
3. AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED ON FIRE LANES, COMMERCIAL AND MULTI-FAMILY DWELLINGS.
4. METER LOCATION MUST BE APPROVED BY DW.
5. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
6. ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST.
7. SYSTEM DEVELOPMENT CHARGE CREDITS FOR TAP CUTS WILL BE GIVEN ACCORDING TO CURRENT OPERATING RULES.
8. IF A WATER EASEMENT IS REQUIRED ON A SITE, THIS EASEMENT WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
9. LANDSCAPING DEPICTED IN FUTURE WATER EASEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT.
10. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATED TAP, SERVICE LINE & METER.
11. SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
12. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICES. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
13. PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DW.

### FIRE NOTES

1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

FIRE FLOW DATA BLOCK	
TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 2250GPM	
MINIMUM @ 20PSI RESIDUAL PRESSURE	
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 2 FIRE HYDRANTS	
INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE	
CODE USED FOR ANALYSIS: 2009 IFC WITH 2011 REVISIONS	
OCCUPANCY GROUP(S): B	
CONSTRUCTION TYPE(S): III-B	
FIRE FLOW CALCULATION AREA: 10,624 SF	
THIS BUILDING IS NOT SPRINKLERED	



SECTION A-A  
NTS

BENCHMARK: CITY & COUNTY OF DENVER BM 378, BRASS CAP IN TOP OF CURB NE CORNER OF WALNUT & DOWNING  
ELEVATION = 5198.88 (NAVD 1988)

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WALNUT

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UTILITY &  
GRADING PLAN

3 OF 6

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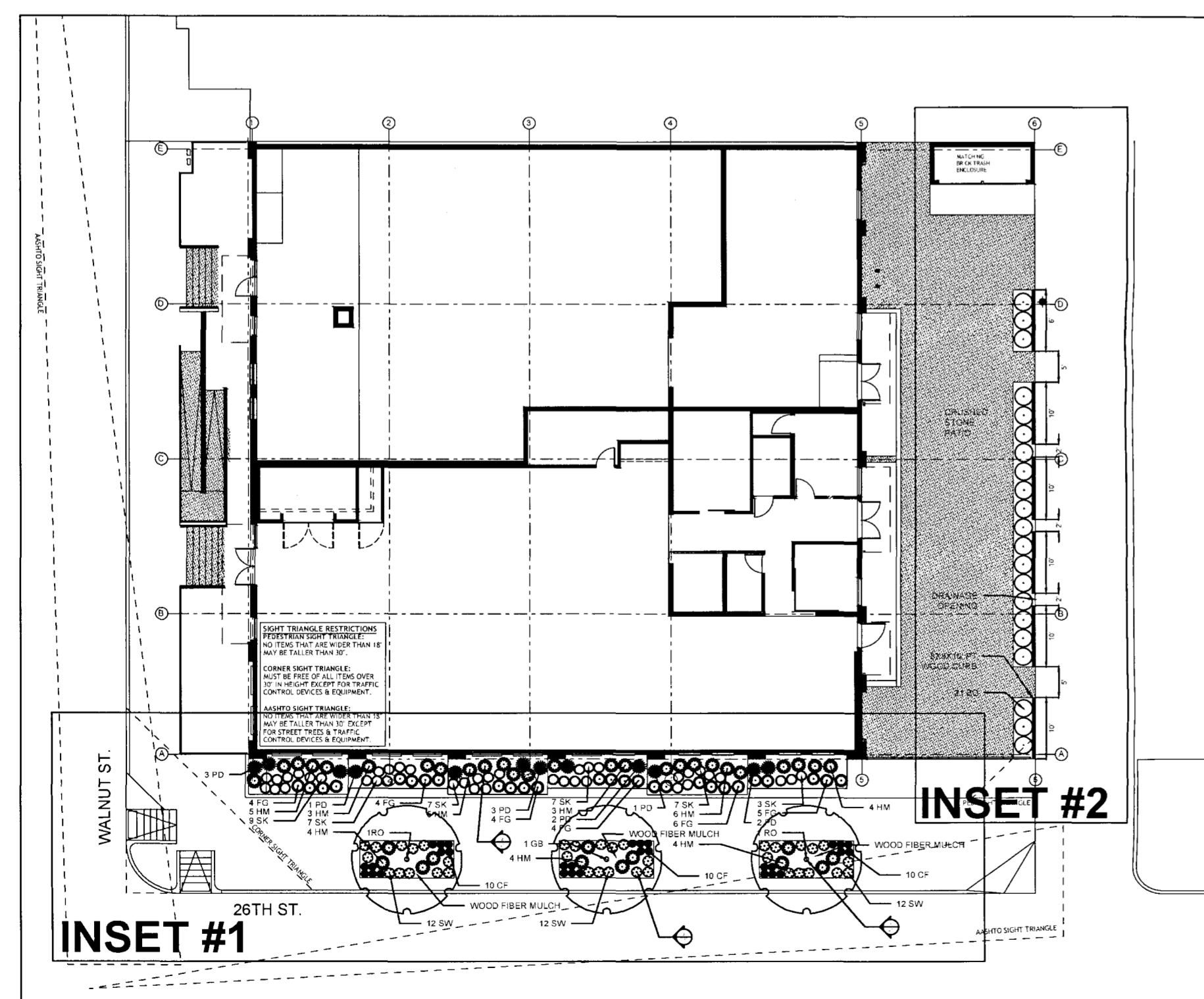
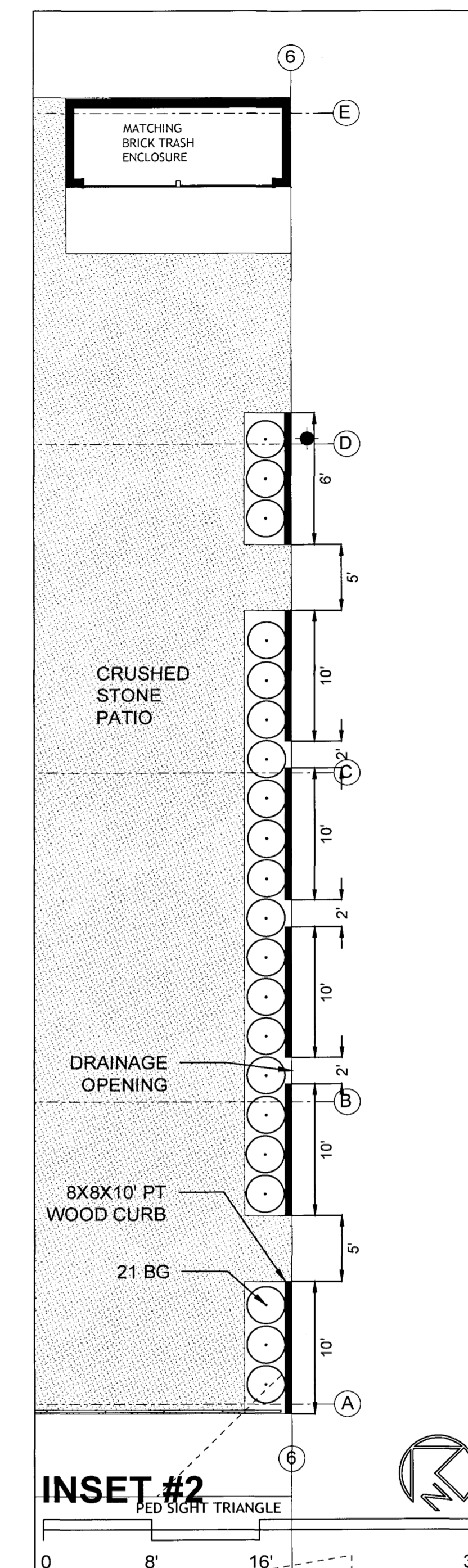
**CITY OF DENVER REQUIRED STANDARD NOTES:**

- PER CITY CODE, ALL TREE REMOVALS IN DENVER LIMITS MUST BE PERFORMED BY PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY DENVER FORESTRY (INCLUDING TREES IN RIGHTS OF WAY AND ON PRIVATE PROPERTY). FOR A CURRENT LIST OF LICENSED TREE CONTRACTORS, VISIT WWW.DENVERGOV.ORG/FORESTRY. (THERE ARE NO ANTICIPATED TREE REMOVALS IN THIS PROJECT).
- FOR FORESTRY-APPROVED TREE REMOVALS IN PUBLIC RIGHT(S) OF WAY: A TREE REMOVAL PERMIT ISSUED BY THE OFFICE OF THE CITY FORESTER IS REQUIRED PRIOR TO REMOVAL. IN ORDER TO OBTAIN TREE REMOVAL PERMIT, CONTACT FORESTRY (FORESTRY@DENVERGOV.ORG) WITH NAME OF LICENSED CONTRACTOR OR PROPERTY OWNER PERFORMING REMOVAL. INCLUDE D-LOG NUMBER (2013D00434) WHEN REQUESTING REMOVAL PERMIT.
- FOR TREES ON PRIVATE PROPERTY: A FORESTRY-ISSUED TREE REMOVAL PERMIT IS NOT REQUIRED PRIOR TO REMOVAL. HOWEVER, PER CITY CODE, ALL TREE REMOVALS IN DENVER MUST BE PERFORMED BY PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY THE OFFICE OF THE CITY FORESTER.
- A FORESTRY-ISSUED TREE PLANTING PERMIT IS REQUIRED FOR ALL TREES TO BE PLANTED IN PUBLIC RIGHTS OF WAY. CONTACT FORESTRY (FORESTRY@DENVERGOV.ORG) WITH NAME OF CONTRACTOR OR PROPERTY OWNER PERFORMING PLANTING. INCLUDE D-LOG NUMBER (2013D00434) WHEN REQUESTING PERMIT. PLANTING PERMITS MUST BE OBTAINED PRIOR TO INSTALLATION.
- EXISTING TREES TO BE PRESERVED IN PUBLIC RIGHTS OF WAY SHALL BE PROTECTED PER FORESTRY STANDARDS & PRACTICES. TREE PROTECTION SHALL BE INSTALLED PRIOR TO ISSUE OF DEMOLITION PERMIT, APPROVED BY FORESTRY, AND SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION. NO CONSTRUCTION ACTIVITIES OR STORAGE OF MATERIALS SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OFFICE OF THE CITY FORESTER.
- EXISTING RIGHTS OF WAY TREES APPROVED FOR REMOVAL BY THE OFFICE OF THE CITY FORESTER (OCF) MUST BE REMOVED BY A FORESTRY-LICENSED TREE CONTRACTOR WITHIN FIFTEEN (15) DAYS UPON COMMENCEMENT OF CONSTRUCTION ACTIVITIES. A TREE REMOVAL PERMIT MUST ALSO BE OBTAINED FROM THE OCF PRIOR TO REMOVAL. FAILURE TO REMOVE SUCH TREES WITHIN THE 15-DAY TIMEFRAME OR REMOVAL WITHOUT A PERMIT WILL RESULT IN NOTICE OF VIOLATION AND MAY INCLUDE CITATIONS/FINES. (THERE ARE NO ANTICIPATED TREE REMOVALS IN THIS PROJECT).
- PROPOSED TREES IN THE RIGHTS OF WAY SHALL BE PRE-APPROVED BY THE CITY FORESTER'S OFFICE AND SHALL BE A MINIMUM OF 20' FROM PROPERTY CORNERS AT INTERSECTIONS, 25' FROM STREET LIGHTS, AND 10' FROM EDGE OF DRIVEWAYS.
- ALL PROPOSED LANDSCAPING IN THE RIGHTS OF WAY SHALL BE PER THE STREETScape DESIGN MANUAL. WITH THE EXCEPTION OF TREE PLANTING, THIS SHALL BE IN ACCORDANCE WITH CURRENT FORESTRY RULES AND REGULATIONS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
- SOIL REMEDIATION IS REQUIRED WHEN REMOVING PAVEMENT INCLUDING CONCRETE, ASPHALT, BRICK, STONE OR OTHER, FOR THE PURPOSE OF PLANTING TREES. THE REMEDIATION WILL BE BASED ON THE FINDINGS OF A SOIL ANALYSIS TO 24" DEPTH AND IS REQUIRED TO BE PERFORMED BY AN ACCREDITED, LOCAL, SOIL ANALYSIS LABORATORY WITH EXPERIENCE IN LOCAL URBAN SOILS. THE SOIL ANALYSIS WILL DETERMINE THE EXISTING SOIL TEXTURE AND TYPE, PH BALANCE, SOIL SALINITY, ORGANIC MATTER (OM) PERCENTAGE, AND PLANT AVAILABLE NUTRIENTS. THE REQUIREMENTS FOR SOIL REMEDIATION WILL BE THOSE NEEDED TO RESTORE THE SOIL TO A HEALTHY CONDITION SUPPORTING PLANT HEALTH FOR THE LIFE OF THE VEGETATIVE ORGANISM.

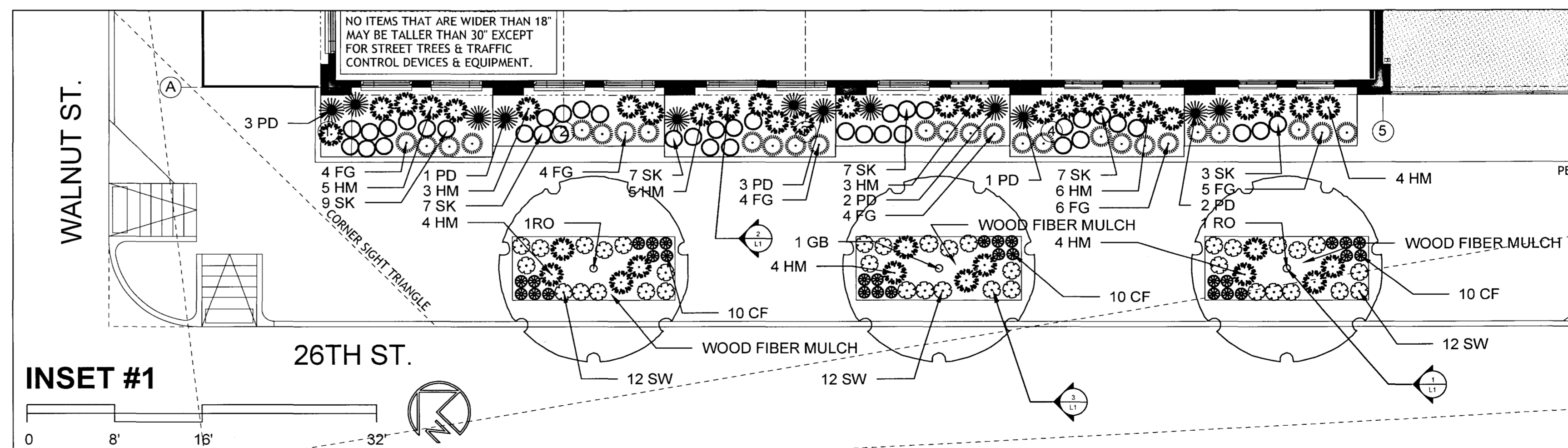
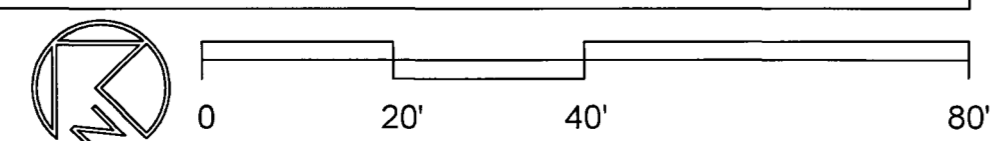
TREES	SYM	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE PLANT SIZE AND CHARACTERISTICS
RO		2	SOPHORA JAPONICA 'HALKA'	MILLSTONE™ JAPANESE PAGODA TREE	2-2.5" CAL	45' X 35' LUSTROUS DARK GREEN, YELLOW FALL COLOR, WHITE FLOWERS
GB		1	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	2-2.5" CAL	

PERENNIALS	SYM	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE PLANT SIZE AND CHARACTERISTICS
HM		38	AGASTACHE BLUE FORTUNE	HYBRID HYSSOP / HUMMINGBIRD MINT	#3	3' TALL, 18-24" SPREAD, BLUE SUMMER
CF		30	BERLANDIERA LYRATA	CHOCOLATE FLOWER	#1	12" TALL, 14" SPREAD, BRIGHT YELLOW FLOWERS SPRING TO SUMMER
SW		36	VERONICA LIWANENSIS	SPEEDWELL	#1	0.25' TALL, 1-2' SPREAD, BLUE FLOWERS JUNE TO OCTOBER

GRASSES	SYM	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE PLANT SIZE AND CHARACTERISTICS
BG		21	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	#1	1-2' TALL, 1-2' SPREAD, WARM SEASON GRASS FORMS DENSE TUFTS
FG		27	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	FOUNTAIN GRASS	#1	1-1.5' TALL, 1.5-2' SPREAD, WHITE SUMMER
PD		12	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	2-3' TALL, 2-3' SPREAD, PINK AUGUST TO OCTOBER
SK		40	NASSELLA TENUSSIMA	SILKY THREAD GRASS	#1	18" TALL, 12" SPREAD, CREAM SPRING TO SUMMER



**INSET INDEX**



**2600 & 2602 WALNUT**  
2600 Walnut Street,  
Denver, CO 80205

**Date & Phase**

Site Development Plan	03.08.2016
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**LANDSCAPE PLAN**

**4 OF 6**

project info  
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sheet no.



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2600 Walnut Street

**LANDSCAPE NOTES:**

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. DO NOT PLANT ANY TREES OR SHRUBS DIRECTLY OVER BURIED UTILITY LINES, OR ANY TREES UNDER OVERHEAD UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

2. VERIFY ALL PLANT QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING BID. FIELD VERIFY QUANTITIES OF LANDSCAPE EDGER AND FENCE THAT MAY BE INDICATED. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTED AREAS AND LAWN UNTIL FINAL ACCEPTANCE INCLUDING IRRIGATION SYSTEM, WATERING OF PLANTS, SPRAYING, PRUNING, MULCHING, FERTILIZING, ETC.

4. MEASURE OFF THE PLANS TO ACCURATELY LAYOUT ALL FEATURES AND PLANT LOCATIONS INCLUDING ANY EDGER, BERMS, SITE FEATURES, AND PLANTING AREAS AS INDICATED.

5. INSTALL A NEW AUTOMATIC PRESSURIZED UNDERGROUND IRRIGATION SYSTEM FOR THE NEW LANDSCAPE. USE LOW VOLUME DRIP OR BUBBLER IRRIGATION TO ALL PLANTING SHRUB BED AREAS, AND ROTOR TYPE OR SPRAY HEAD SPRINKLERS TO TURF GRASS AREAS. PREPARE IRRIGATION DESIGN AND SUBMIT TO ARCHITECT FOR APPROVAL AS A "DESIGN BUILD" ARRANGEMENT.

6. ALL GRASS AREAS SHALL NOT EXCEED 4:1 SLOPE. GRASS AREAS SHALL HAVE A MINIMUM DEPTH OF 4 INCHES OF TOPSOIL, AND PLANTING BED AREAS SHALL HAVE A MINIMUM OF 6 INCHES OF TOPSOIL. ALL PARKING LOT PLANTERS SHALL HAVE A MINIMUM DEPTH OF 8 INCHES OF TOPSOIL. TOPSOIL SHALL BE FREE OF DEBRIS LARGER THAN 1" SIZE WITH A SALT READING OF NOT MORE THAN 3 MMHOS/CM.

7. WHEN INSTALLING PLANT MATERIAL, PLANT MIX SHALL BE COMPRISED OF 1 PART SOIL CONDITIONER (COMPOST MIX SUCH AS "BIOCOMP" PROVIDED BY A-1 ORGANICS, EATON, COLORADO) TO 2 PARTS TOPSOIL. OVER-EXCAVATE THE PLANTING HOLES TO A DIAMETER THAT IS TWO TIMES THE DIAMETER OF THE ROOTBALL. FILL WITH PLANT MIX.

8. VEGETATION WAS CHOSEN FOR ITS SPECIFIC VARIETY, HEIGHT, WIDTH, AND COLOR. ANY VEGETATION SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO THE PURCHASE AND DELIVERY OF THE VEGETATION TO THE SITE.

9. ALL LANDSCAPE SHRUB BEDS SHALL BE INSTALLED WITH PERMEABLE WEED BARRIER FABRIC AND TOP DRESSED WITH A MINIMUM OF THREE INCHES OF SPECIFIED MULCH.

10. SHREDDED CEDAR BARK MULCH SHALL BE PLACED AROUND THE DRIP LINE OF EACH PLANT TO MAINTAIN MOISTURE, 2 FEET DIAMETER AROUND TREES, AND 1 FOOT DIAMETER AROUND SHRUBS. HOWEVER, KEEP MULCH 2 INCHES AWAY FROM PLANT STEMS.

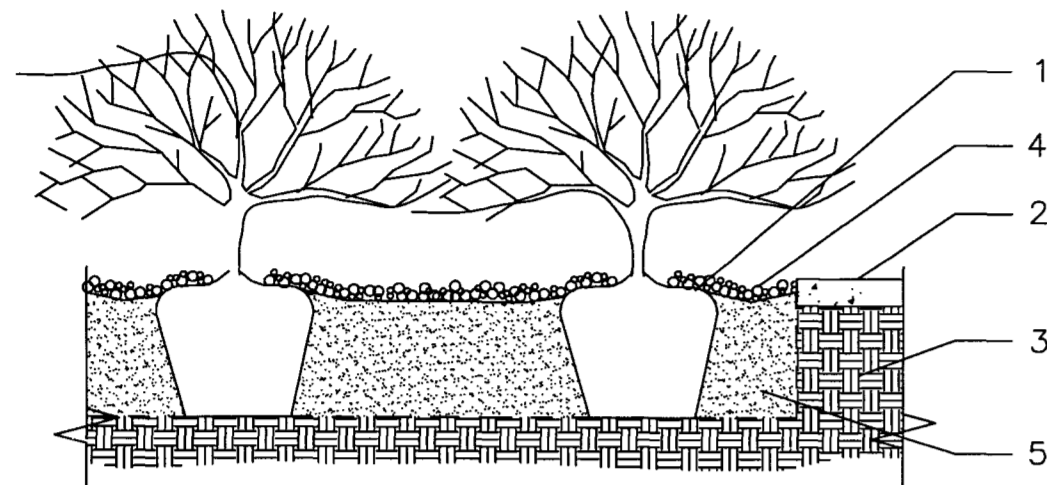
11. SHRUB BEDS SHALL HAVE "DEWITT PRO 6" WEED BARRIER FABRIC OR APPROVED EQUIVALENT MATERIAL INSTALLED UNDER MULCH UNLESS NOTED OTHERWISE - OVERLAP SEAMS MINIMUM 4 INCHES AND ATTACH FABRIC IN PLACE WITH 8 INCH LONG STAPLES AT MAXIMUM 4 FEET ON CENTER.

12. WHEN PLANTING TREES, SHRUBS, OR PERENNIALS: THOROUGHLY SOAK THE PLANTING HOLE WHILE BACKFILLING SOIL AROUND THE PLANT. PRUNE DEAD OR DAMAGED BRANCHES IMMEDIATELY AFTER PLANTING.

13. ALL VEGETATION SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION. PLANTING SHALL BE DONE IN CONFORMANCE WITH THE ASSOCIATED CONTRACTORS OF COLORADO (ALCC) SPECIFICATIONS. VEGETATION AND IRRIGATION SYSTEM TO BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY DEAD OR DYING PLANT SHALL BE REPLACED AT NO COST TO THE OWNER DURING THE GUARANTEE PERIOD.

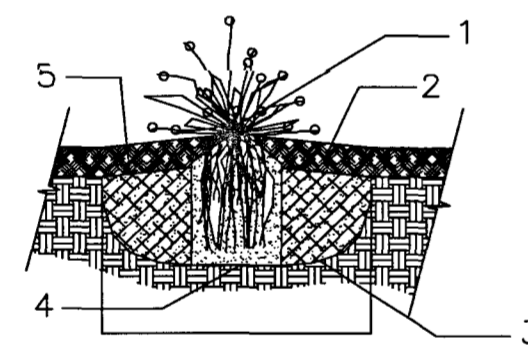
14. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ANY MEANS, METHODS, OR APPROPRIATENESS OF CONSTRUCTION PROCEDURES BY ANY CONTRACTOR.

15. HORTICULTURAL WOOD FIBER MULCH EQUAL IN QUALITY AND CONTENT TO THAT OF "2ND CHANCE COLORED COFFEE BROW MULCH" SUPPLIED BY A1 ORGANICS, EATON, COLORADO. WILL BE 100% RECYCLED GROUND KILN DRIED WOOD WASTE, INCLUDING PALLETS AND DIMENSIONAL LUMBER. MULCH WILL BE GROUND SO THAT A MINIMUM OF 95 PERCENT OF THE MATERIAL WILL PASS THROUGH A 0.25-INCH SEIVE. BULK DENSITY IS WITHIN THE RANGE OF 400 TO 500 POUNDS PER CUBIC YARD. RAW MATERIALS USED TO MAKE COLORANTS (DYE FOR THE 2ND CHANCE COLORED MULCHTM CALLED MULCH MAGIC ONETM COLORANTS) WILL BE NONTOXIC TO PLANTS AND ANIMALS, IN COMPLIANCE WITH THE TOXIC SUBSTANCES CONTROL ACT. COLORANTS WILL BE EQUIVALENT TO THOSE MANUFACTURED BY BECKER UNDERWOOD, 1801 DAYTON AVE., AMES, IA 50010.



- LEGEND**
1. INSTALL ROOTBALL 1" ABOVE FINISH GRADE
  2. TOP OF MULCH LOCATED 1/2" BELOW FINISH GRADE
  3. COMPACTED SUBGRADE
  4. 3" DEPTH MULCH
  5. PLANT BACKFILL MIXTURE

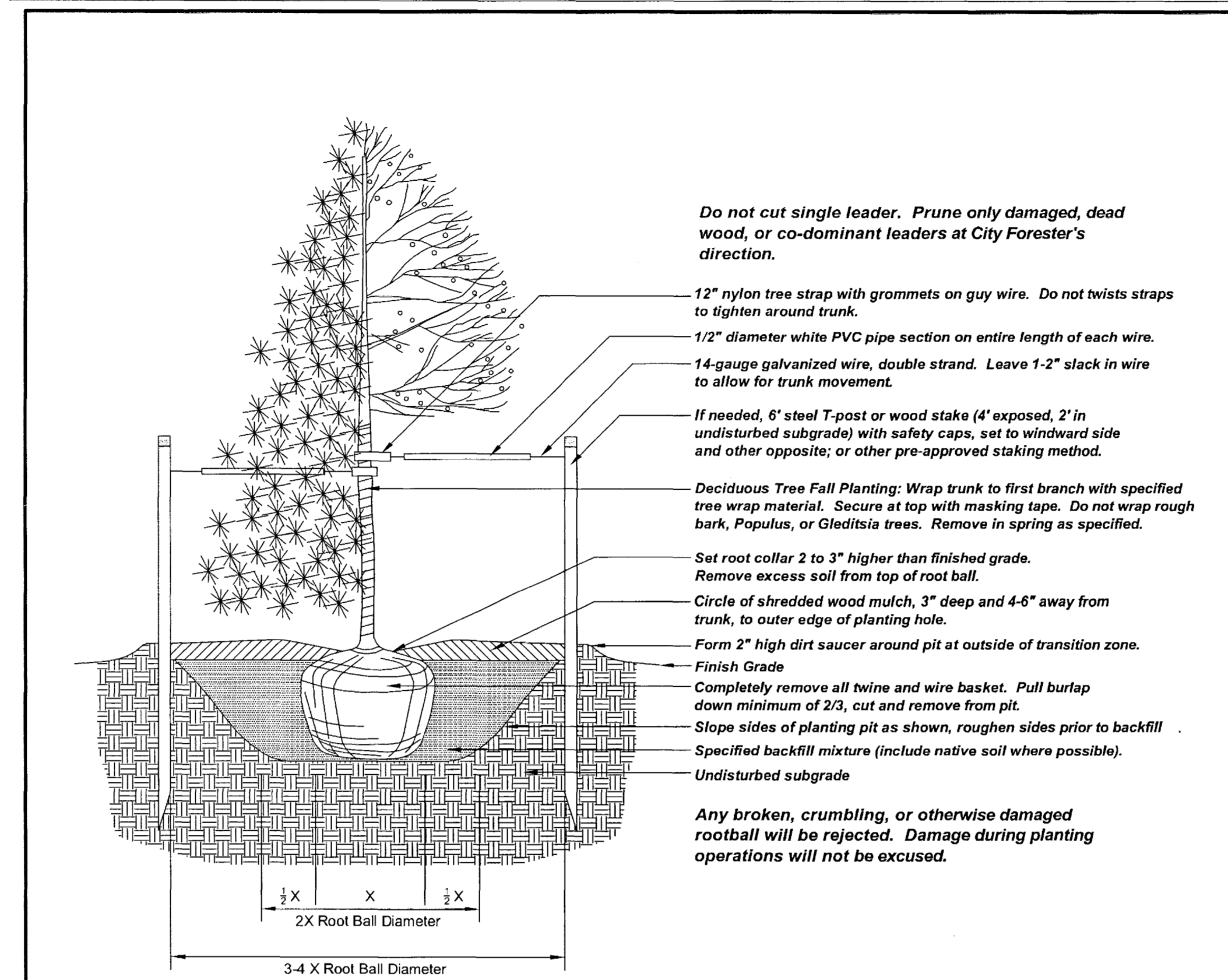
**2 SHRUB PLANTING DETAIL**  
NOT TO SCALE



- LEGEND**
1. PERENNIAL, SEE LANDSCAPE PLAN
  2. 3" DEPTH MULCH, SEE NOTES/DETAILS
  3. SCARIFY SIDES AND BOTTOM OF PLANTING PIT
  4. FLAT BOTTOM PLANTING HOLE
  5. SLOPE TOP OF PLANTING PIT, ALLOW FOR POSITIVE DRAINAGE

- NOTES:**
1. DO NOT PRUNE TO COMPENSATE FOR ROOT LOSS.
  2. PRUNE ALL DEAD FOLIAGE.
  3. HANDLE ONLY BY ROOTBALL AND PLACE GENTLY INTO HOLE.
  4. PLACE BEST SIDE TO MOST FREQUENT VIEWING, NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING FOR STAKED LOCATIONS.
  5. REMOVE FROM CONTAINER.
  6. SCRAPE AWAY SOIL AT TOP UNTIL ROOTS ARE EXPOSED.
  7. BACKFILL HOLE WITH REMOVED SOIL, DO NOT APPLY SOIL AMENDMENTS.
  8. BACK FILL 3/4 OF HOLE AND WATER THOROUGHLY WHILE WORKING SOIL WITH HANDS TO ELIMINATE ANY AIR POCKETS.
  9. REMOVE 1" TO 2" OF MULCH FROM AROUND BASE OF PLANT.

**3 PERENNIAL PLANTING DETAIL**  
NOT TO SCALE



**Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:**

- An approved planting permit from the Office of the City Forester, regardless of approved plans, is required prior to planting.
- Administrative citations up to \$999 shall be issued for trees planted without an Office of the City Forester issued permit.
- Only trees from Denver Forestry's approved street tree list or trees approved by the City Forester's office shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, see Denver Forestry website or call the Forestry office.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide.
- Where sidewalks are not present, trees shall be located as designated by Denver Forestry.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW line in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 20 (twenty) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by Forestry.
- Trees shall be pruned to maintain a clearance of 13'-6" over streets and alleys and eighty inches over remaining portions of PRW, including sidewalk.

*Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.*

<small>REVISION</small>	<small>MARK</small>	<small>DATE</small>	<small>PREPARED BY DENVER FORESTRY PARKS AND RECREATION DEPARTMENT</small>	<small>CITY AND COUNTY OF DENVER 201 W. COLFAX AVE. DENVER, COLORADO 80202</small>	<small>STANDARD TREE PLANTING DETAIL FOR SOD AREA OR TREE LAWN</small>	<small>NOT TO SCALE DATE: 7/16/14 DIAGRAM P-1</small>
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**1 TREE PLANTING DETAIL**  
NOT TO SCALE

**2600 & 2602  
WALNUT**

2600 Walnut Street,  
Denver, CO 80205

**Date & Phase**

Site Development Plan	03.08.2016
Revision	06.06.2016
Revision	01.23.2017
Revision	03.06.2017

**DETAILS**

**5 OF 6**

project info  
issue / date  
sheet title  
sheet no.



# 2600 & 2602 WALNUT - OFFICE SITE DEVELOPMENT PLAN

LOCATED IN THE NE 023, 3S, 68W, CITY & COUNTY OF DENVER, STATE OF COLORADO  
2600 Walnut Street

## LED STANDARD LUMINOSITY

### Versa Bar

**FROSTED MODELS**  
warm white - 3000K  
neutral white - 4000K  
cool white - 5000K

**LENGTH** 9.4'

**LUMEN OUTPUT (VS)** 210 (WW)  
**LUMEN OUTPUT (VSF)** 178 (WW)

**WATTAGE** 3.5W  
**CURRENT** 0.29 amps  
**MAX RUN/DRIVER** 12 feet/3.7M  
**VOLTAGE** 12V DC  
**WIDTH x HEIGHT** 0.94"W x 0.39"H

**VIEWING ANGLE** 90°

**CONNECTORS** available for all configurations  
6 to 26 watt

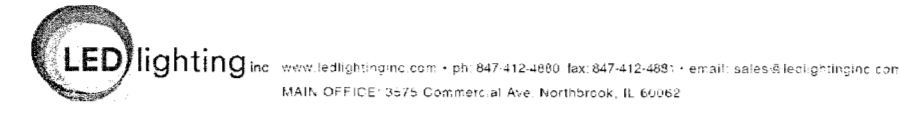
**POWER SUPPLIES** customizing available

**OEM** customizing available

**OPTIONS**  
• High luminosity available, consult factory  
• Cool location with waterproof connectors, consult factory  
• 24 Volt available, consult factory

**NOTE**  
lumen specifications are for warm white only

**FEATURES**  
• aluminum alloy housing • frosted lens for even illumination • slim design • easy no-wiring clip & screw installation includes angled (45°) and flat (180°) clips • mounts to wood, steel or metal • most hard smooth surfaces • clamp locations • solid state, high shock and vibration resistant • major reduction in power costs • no UV or IR radiation • RoHS compliant



### V1 - VERSA BAR

**LED wall washers - wide spread light distribution**

**Housing:** Constructed of marine grade, copper free die-cast aluminum alloy. The housing uses stainless steel inserts for endcap attachment. Designed for attachment to a standard recessed 3 1/2" or 4" octagonal wiring box using a mounting bracket (not shown). The castings are marine grade, copper free (0.3% copper content) A356.2 aluminum alloy.

**Enclosure:** One piece die-cast aluminum cover frame mounted by cast-in-place head, stainless steel screws. Includes stainless steel inserts. 3/16" thick, anodized aluminum internal reflector. Safety glass was installed flush with aluminum frame. Fully gasketed for weather tight operation using a modified silicone rubber gasket. Can be installed in upward or downward facing positions.

**Electrical:** 45-47V LED luminaire, 49.6 total system watts, 100°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI) and 5000K (85 CRI). Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

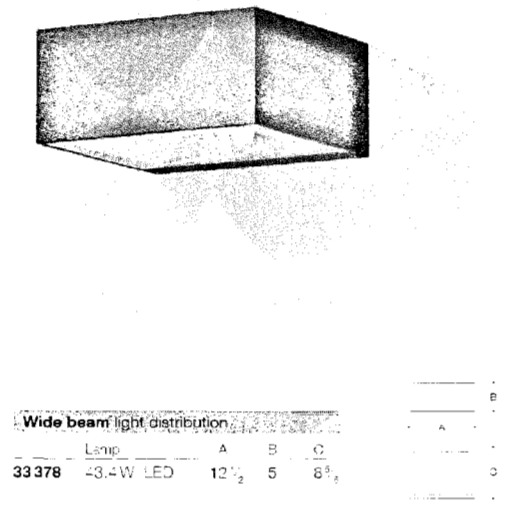
**Finish:** All BEGA Markado finishes are polyester powder coat with minimum 3 mil thickness, available in four elevated BEGA colors: Black (BK), White (WH), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP66.

Weight: 11.9 lbs.

Luminaire Lumens: 3529

BEGA-US: 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 FAX (805)566-9474 [www.bega-us.com](http://www.bega-us.com)  
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### EXT 3 - BEGA 33378

**7230** **7230-98-WL**

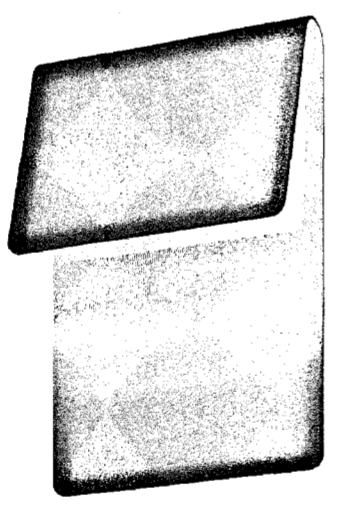
**Dimensions:**  
Height: 7"  
Width: 7"

**Description:**  
Shade: Aluminum w/Optical Acrylic  
Extension: 3"  
Wall Plate: 9 1/4" x 6"  
Dimmable by: Electronic Low Voltage (ELV) or Standard 120VAC Incandescent  
WEI LOCATION

**Lamping Options:**  
LED: 16w, 1260 Lumens  
Warm White (3000K, 90 CRI)  
120VAC input  
w/LED Driver in Outlet Box

**Available Finishes:**  
Textured Bronze  
7230-72-WL  
Textured Gray  
7230-74-WL  
Textured White  
7230-98-WL

**SONNEMAN**



### EXT 2 - SONNEMAN 7230

**LED wall mounted luminaires with asymmetric wide beam distribution**

**Housing:** One piece, die cast aluminum housing with adjustable die cast arm and mounting canopy. Fixture fit angle is adjustable from 0° to 35°. The mounting canopy is supplied with a round, die cast aluminum rotation plate which allows the housing to be precisely leveled or rotated after installation. Mounting plate attaches directly to a standard 4" octagonal wiring box. Die castings are marine grade, copper free (0.3% copper content) A356.2 aluminum alloy.

**Enclosure:** Reposeable is Fingco, constructed of die cast aluminum with toolless access door for easy maintenance. Tempered clear safety glass, 1/4" thick, with anti reflective coating. Optical reflector made of pure anodized aluminum. Fully shielded light distribution for minimal to no heat/uv source to fixture. Type II wide spread light distribution, asymmetric available with Type II light distribution. Consult factory. Fully gasketed with a moisture resistant gasket.

**Electrical:** 45-47V LED luminaire, 53 total system watts, 30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 3000K (85 CRI), 4000K (85 CRI) and 5000K (85 CRI). Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

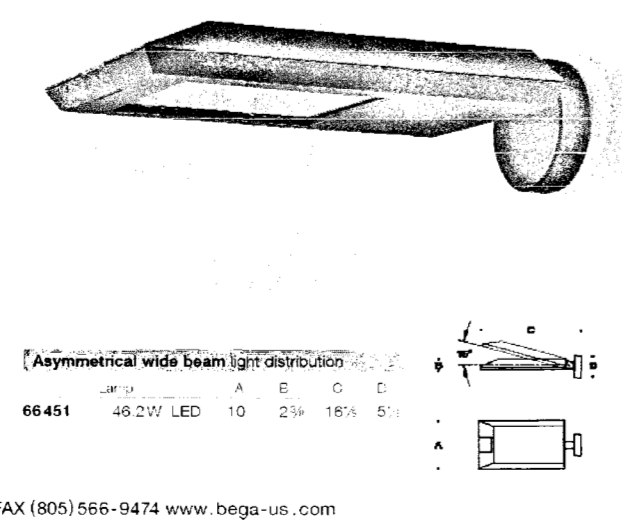
**Finish:** All BEGA Markado finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BK), White (WH), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards for wet locations. Protection class IP66.

Weight: 9.3 lbs.

Luminaire Lumens: 5570

BEGA-US: 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 FAX (805)566-9474 [www.bega-us.com](http://www.bega-us.com)  
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### EXT 1 - BEGA 66541

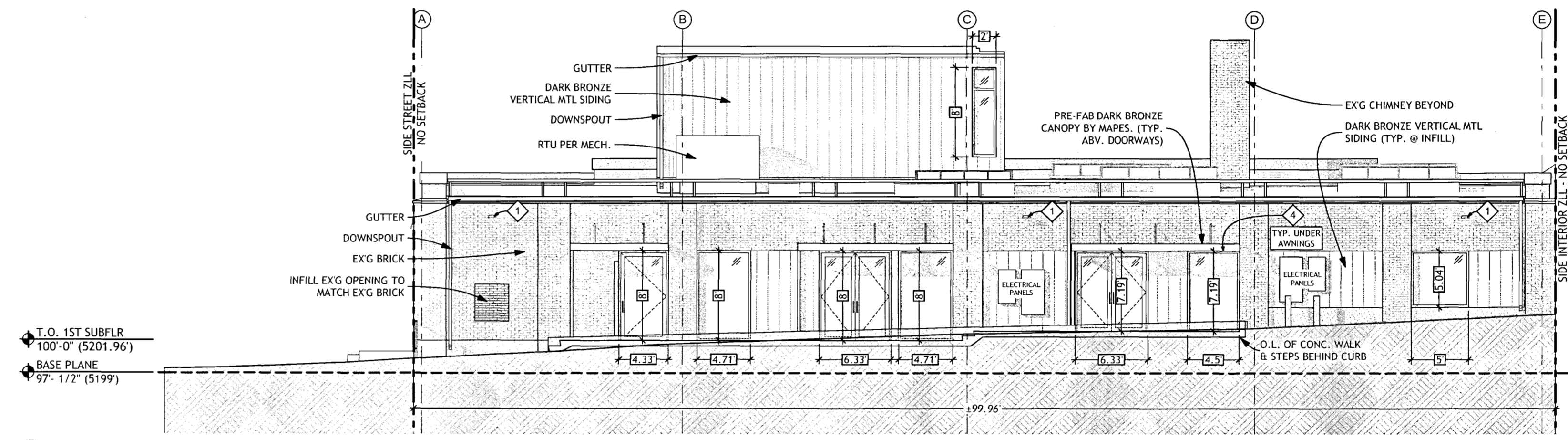
#### TRANSPARENCY CALCULATIONS

STREET	TRANSPARENCY EXG	TRANSPARENCY REQ'D	TRANSPARENCY PROPOSED
WALNUT STREET / PRIMARY STREET	14'	99.96' x 40% = 39.98'	39.44' (39.5%)*
26TH STREET / SIDE STREET	24.5'	98.12' x 25% = 24.53'	32.69' (33.3%)*

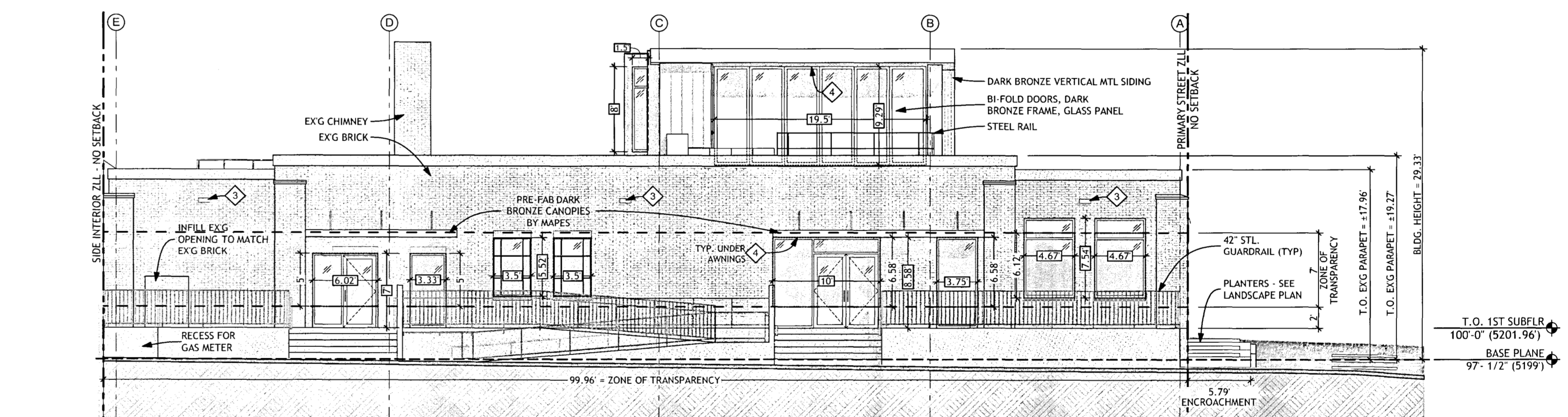
\*PER DZC 12.6.3.2.E & 13.1.6.2.A.6, if the total linear feet of windows and permitted alternatives in the zone of transparency is already below the required amount, it shall not be further reduced.

#### LIGHTING LEGEND (SEE ATTACHED CUTSHEETS)

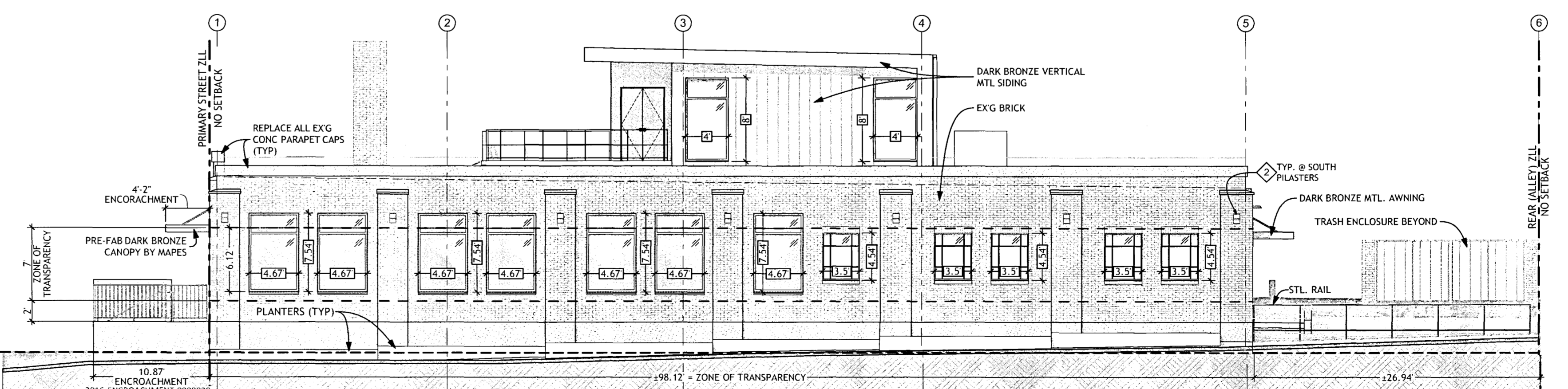
◇	EXT 1 - BEGA 66541
◇	EXT 2 - SONNEMAN 7230
◇	EXT 3 - BEGA 33378
◇	V1 - VERSA BAR



**3 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION - WALNUT STREET (PRIMARY STREET)**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION - 26TH STREET (SIDE STREET)**  
SCALE: 1/8" = 1'-0"

**2600 & 2602 WALNUT**

2600 Walnut Street,  
Denver, CO 80205

**Date & Phase**

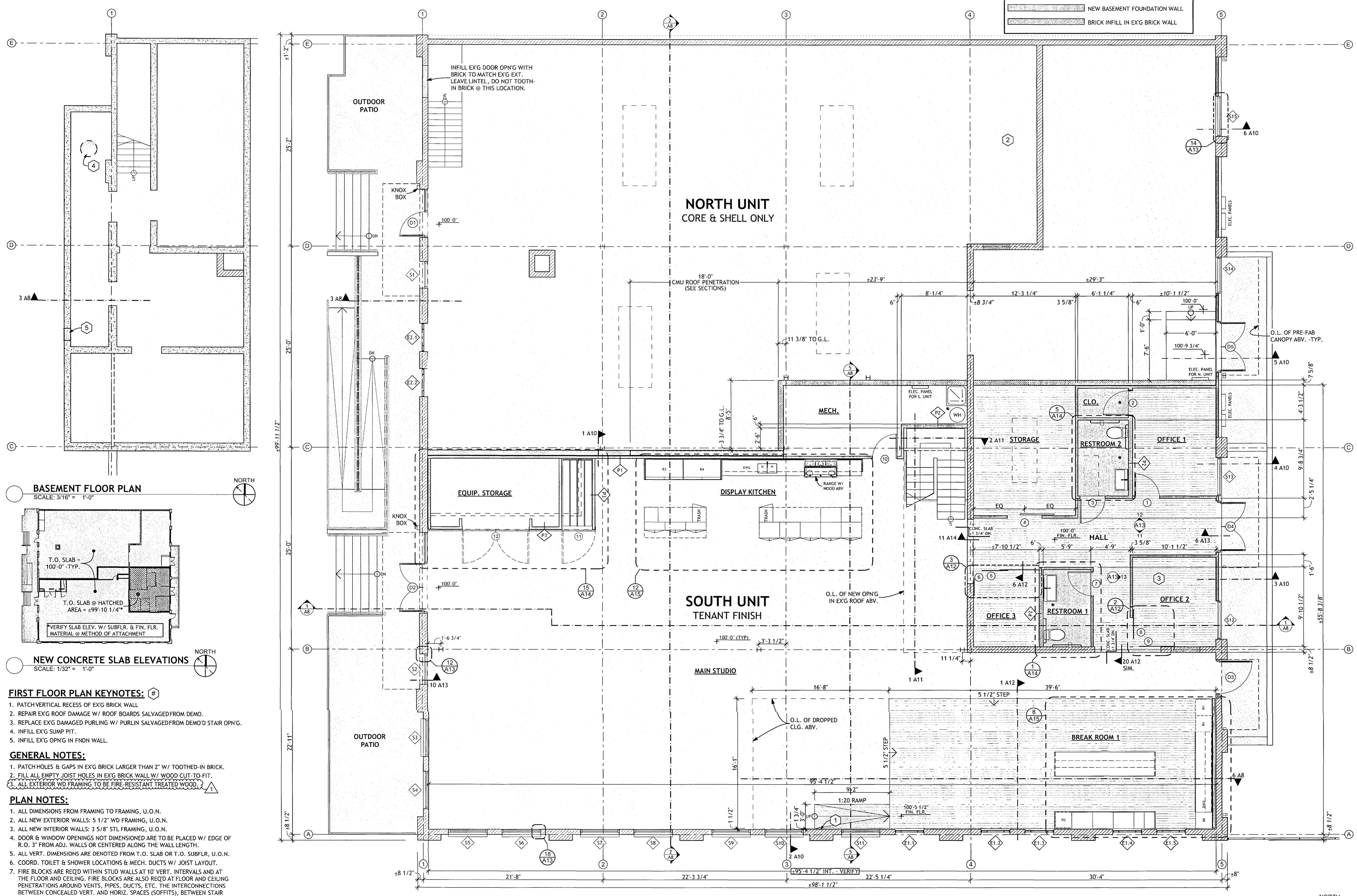
Site Development Plan	03.08.2016
Revision	06.06.2016
Revision	01.23.2017
Revision	03.06.2017

**ARCHITECTURAL BUILDING ELEVATIONS**

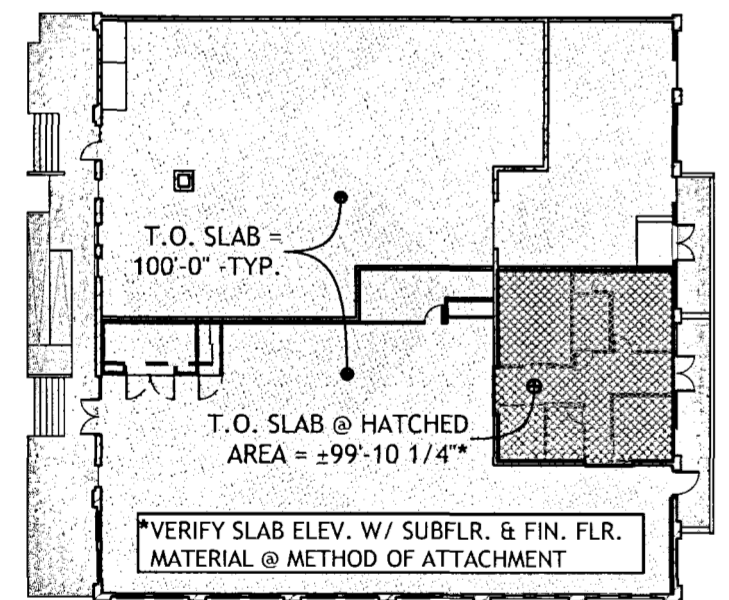


**WALL LEGEND**

	EX'G BRICK WALL
	NEW CMU DEMISING WALL
	NEW 2" STUD WALL, INSULATED
	NEW 2" STUD WALL, UNINSULATED
	EX'G BASEMENT FOUNDATION WALL
	NEW BASEMENT FOUNDATION WALL
	BRICK INFILL IN EX'G BRICK WALL



**BASEMENT FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

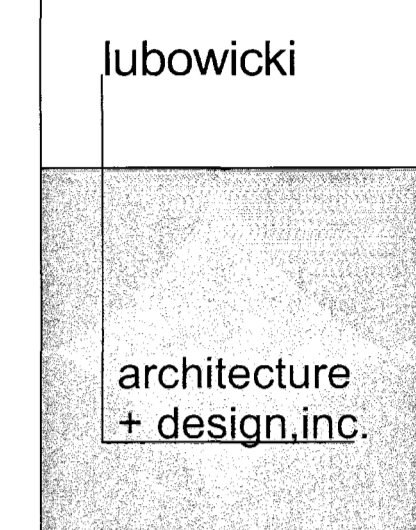


**NEW CONCRETE SLAB ELEVATIONS**  
SCALE: 1/32" = 1'-0"

- FIRST FLOOR PLAN KEYNOTES:**
1. PATCH VERTICAL RECESS OF EX'G BRICK WALL
  2. REPAIR EX'G ROOF DAMAGE W/ ROOF BOARDS SALVAGED FROM DEMO.
  3. REPLACE EX'G DAMAGED PURLING W/ PURLING SALVAGED FROM DEMO'D STAIR OPNG.
  4. INFILL EX'G SUMP PIT.
  5. INFILL EX'G OPNG IN FNDN WALL.
- GENERAL NOTES:**
1. PATCH HOLES & GAPS IN EX'G BRICK LARGER THAN 2" W/ TOOTHED-IN BRICK.
  2. FILL ALL EMPTY JOIST HOLES IN EX'G BRICK WALL W/ WOOD CUT-TO-FIT.
  3. ALL EXTERIOR WD FRAMING TO BE FIRE RESISTANT TREATED WOOD.

- PLAN NOTES:**
1. ALL DIMENSIONS FROM FRAMING TO FRAMING, U.O.N.
  2. ALL NEW EXTERIOR WALLS: 5 1/2" WD FRAMING, U.O.N.
  3. ALL NEW INTERIOR WALLS: 3 5/8" STL FRAMING, U.O.N.
  4. DOOR & WINDOW OPENINGS NOT DIMENSIONED ARE TO BE PLACED W/ EDGE OF R.O. 3" FROM ADJ. WALLS OR CENTERED ALONG THE WALL LENGTH.
  5. ALL VERT. DIMENSIONS ARE DENOTED FROM T.O. SLAB OR T.O. SUBFLR, U.O.N.
  6. COORD. TOILET & SHOWER LOCATIONS & MECH. DUCTS W/ JOIST LAYOUT.
  7. FIRE BLOCKS ARE REQ'D WITHIN STUD WALLS AT 10' VERT. INTERVALS AND AT THE FLOOR AND CEILING. FIRE BLOCKS ARE ALSO REQ'D AT FLOOR AND CEILING PENETRATIONS AROUND VENTS, PIPES, DUCTS, ETC. THE INTERCONNECTIONS BETWEEN CONCEALED VERT. AND HORIZ. SPACES (SOFFITS), BETWEEN STAIR STRINGERS, AND THE OPNGS BETWEEN CHIMNEY CHASES & ATTIC SPACES MUST BE FIRE STOPPED. FIRE BLOCK MATERIAL MAY BE 2" NOMINAL LUMBER (TYP).

**1ST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**2600 & 2602 WALNUT**  
2600 Walnut Street,  
Denver, CO 80205

**Date & Phase**  
06.22.2016 - FOR PERMIT & CONSTRUCTION  
08.10.2016 - REVISION

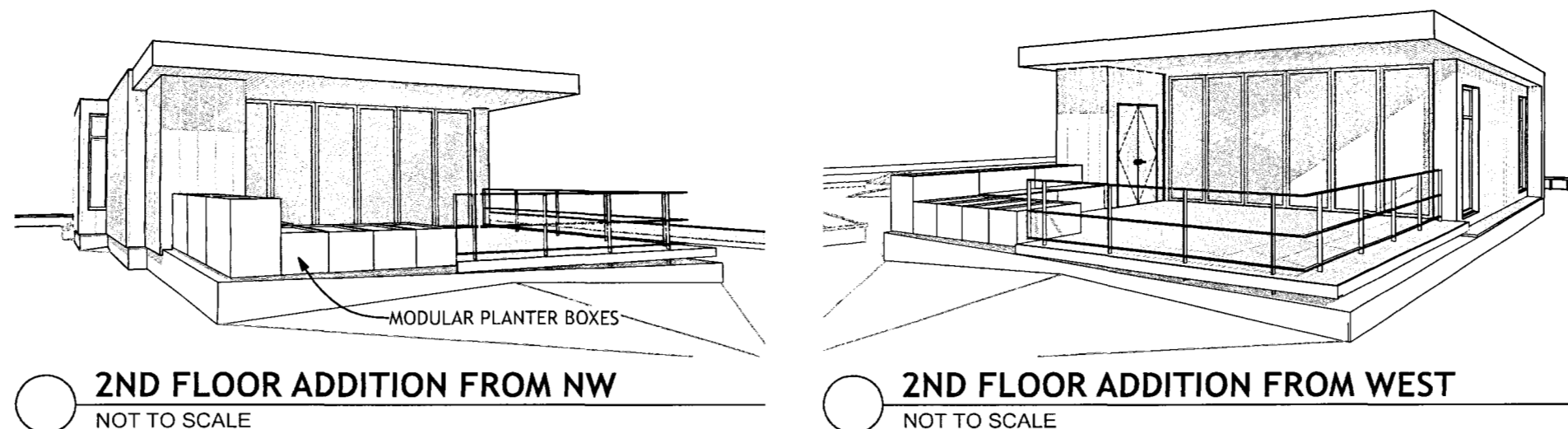
**FLOOR PLANS**

app. by DW, KK  
SL

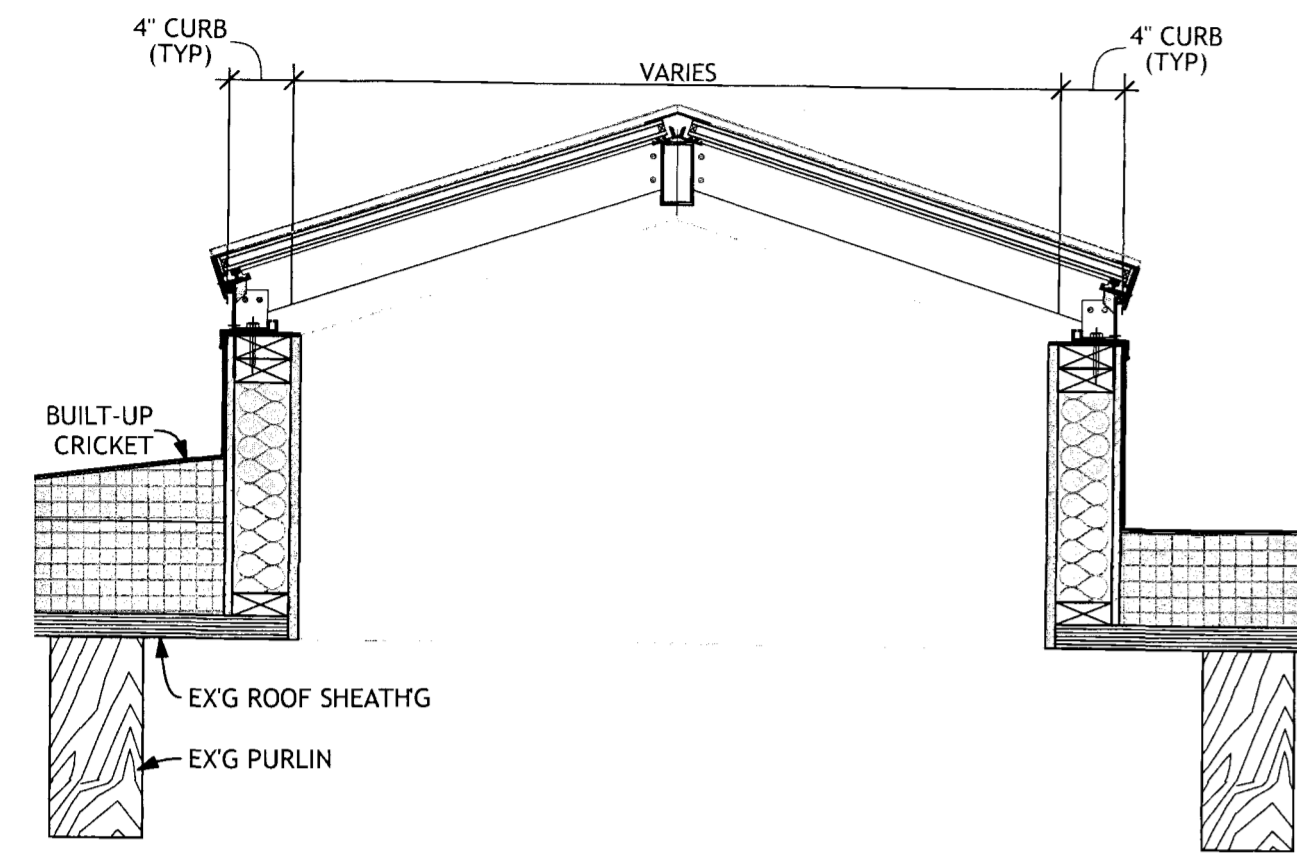
**A6**

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NOTE: scale distortion may occur as a result of printing or copying.

SKYLIGHT SCHEDULE					
ID	UNIT LENGTH	UNIT WIDTH	TYPE	GLAZING	NOTES
0.1	10'-8"	4'-8"	GABLE	INSULATED 5/8" - DOUBLE PANE	SEE 2ND FLOOR PLAN / A6 FOR R.O. DIMS
0.2	10'-8"	4'-8"	GABLE	"	"
0.3	10'-8"	4'-8"	GABLE	"	"
0.4	10'-8"	4'-8"	GABLE	"	"
0.5	8'-8"	3'-8"	GABLE	"	"
0.6	5'-8"	3'-2"	FLAT	"	"
0.7	2'-8"	6'-5"	FLAT	"	SEE 2ND FLOOR PLAN / A6 FOR R.O. DIMS - VER. OPNG DIM. IN FIELD W/ ARCHITECT

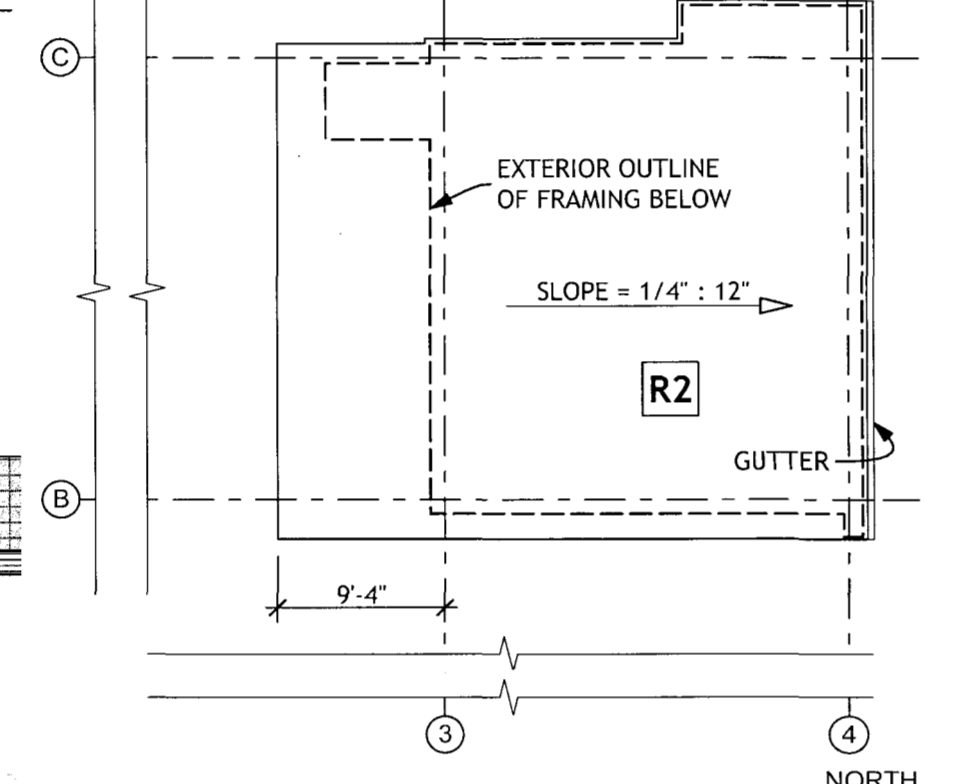
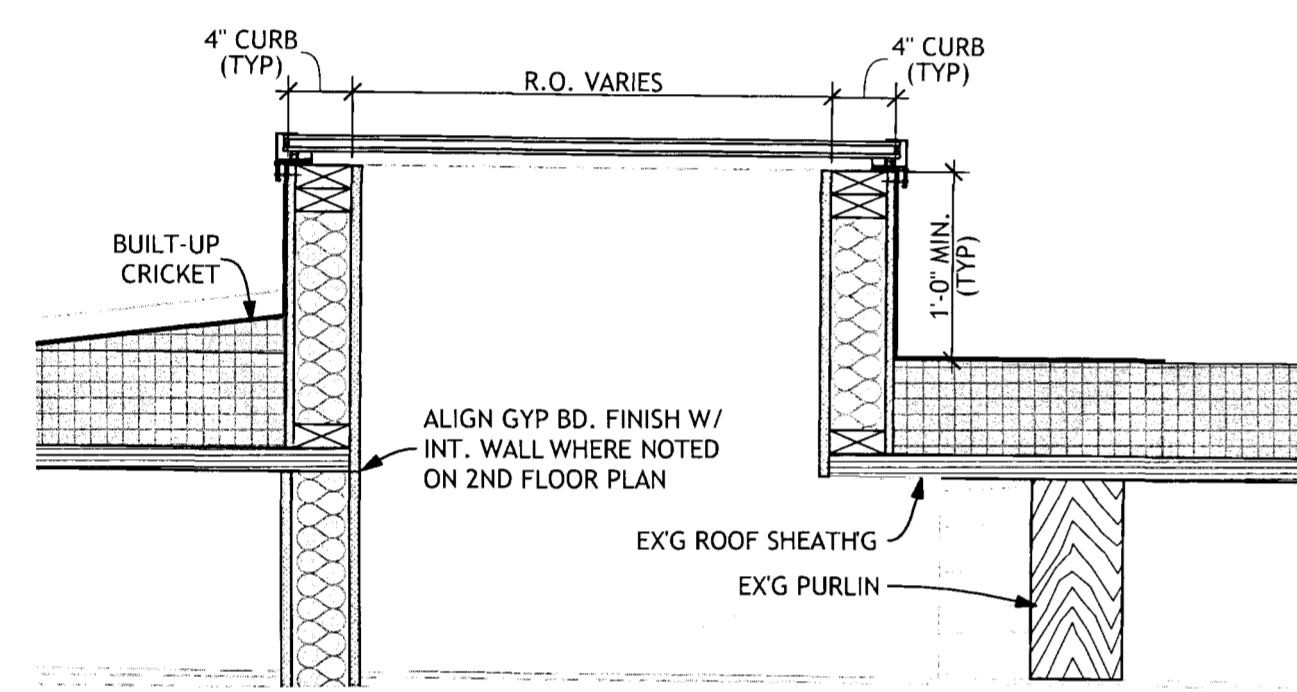


WALL LEGEND	
	EX'G BRICK WALL
	NEW CMU DEMISING WALL
	NEW 2x STUD WALL, INSULATED
	NEW 2x STUD WALL, UNINSULATED
	EX'G BASEMENT FOUNDATION WALL
	NEW BASEMENT FOUNDATION WALL
	BRICK INFILL IN EX'G BRICK WALL



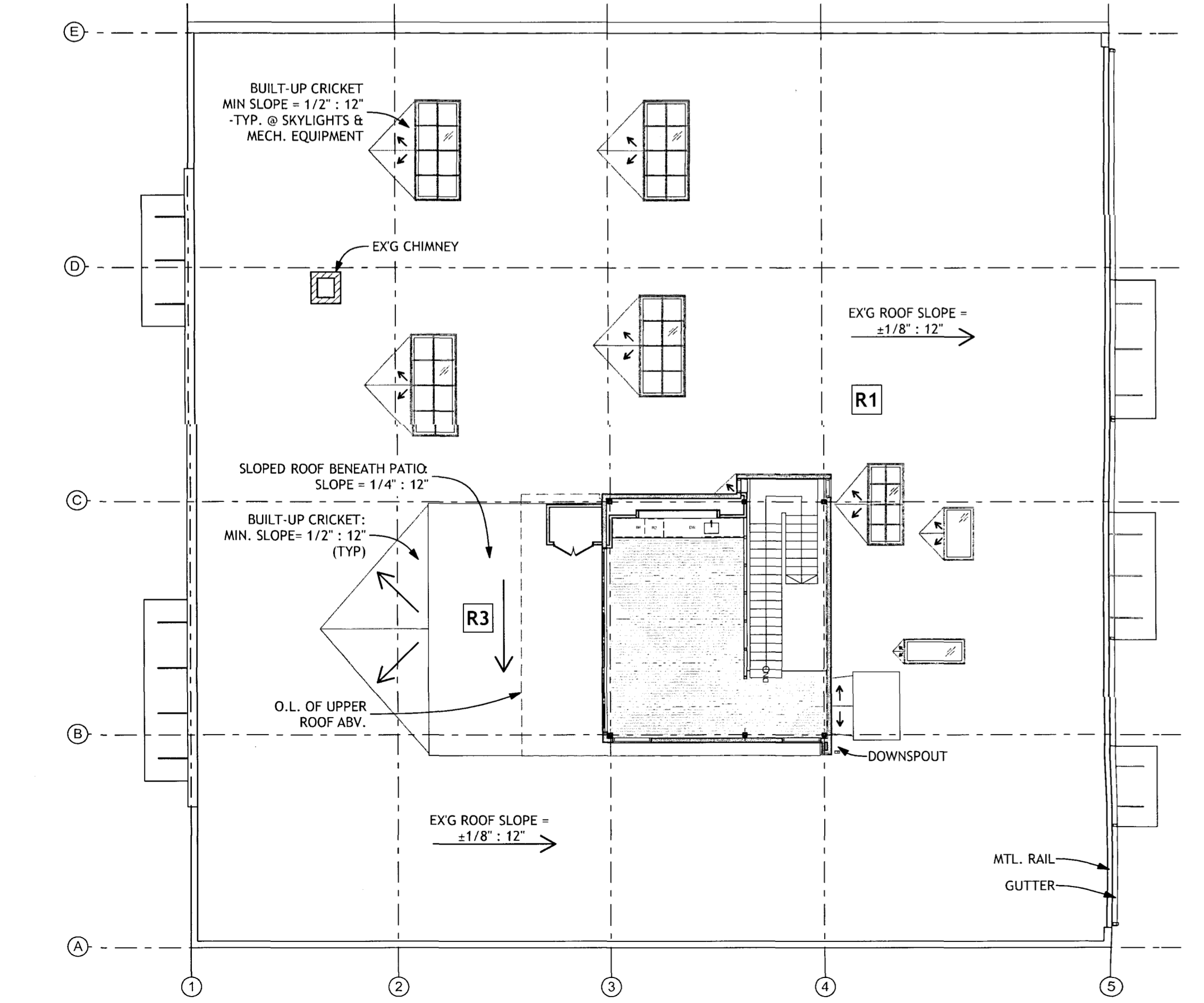
- GENERAL NOTES:**
- PATCH HOLES & GAPS IN EX'G BRICK LARGER THAN 2" W/ DOTTED-IN BRICK.
  - FILL ALL EMPTY JOIST HOLES IN EX'G BRICK WALL W/ WOOD CUT-TO-FIT.
  - ALL EXTERIOR WD FRAMING TO BE FIRE-RESISTANT TREATED WOOD.
- PLAN NOTES:**
- ALL DIMENSIONS FROM FRAMING TO FRAMING, U.O.N.
  - ALL NEW EXTERIOR WALLS: 5 1/2" WD FRAMING, U.O.N.
  - ALL NEW INTERIOR WALLS: 3 5/8" STL FRAMING, U.O.N.
  - DOOR & WINDOW OPENINGS NOT DIMENSIONED ARE TO BE PLACED W/ EDGE OF R.O. 3" FROM ADJ. WALLS OR CENTERED ALONG THE WALL LENGTH.
  - ALL VERT. DIMENSIONS ARE DENOTED FROM T.O. SLAB OR T.O. SUBFLR, U.O.N.
  - COORD. TOILET & SHOWER LOCATIONS & MECH. DUCTS W/ JOIST LAYOUT.
  - FIRE BLOCKS ARE REQD WITHIN STUD WALLS AT 10' VERT. INTERVALS AND AT THE FLOOR AND CEILING. FIRE BLOCKS ARE ALSO REQD AT FLOOR AND CEILING PENETRATIONS AROUND VENTS, PIPES, DUCTS, ETC. THE INTERCONNECTIONS BETWEEN CONCEALED VERT. AND HORIZ. SPACES (SOFFITS, BETWEEN STAIR STRINGERS, AND THE OPNGS BETWEEN CHIMNEY CHASES & ATTIC SPACES MUST BE FIRE STOPPED. FIRE BLOCK MATERIAL MAY BE 2" NOMINAL LUMBER (TYP).

**2 TYP. GABLED SKYLIGHT DETAIL**  
SCALE: 1" = 1'-0"

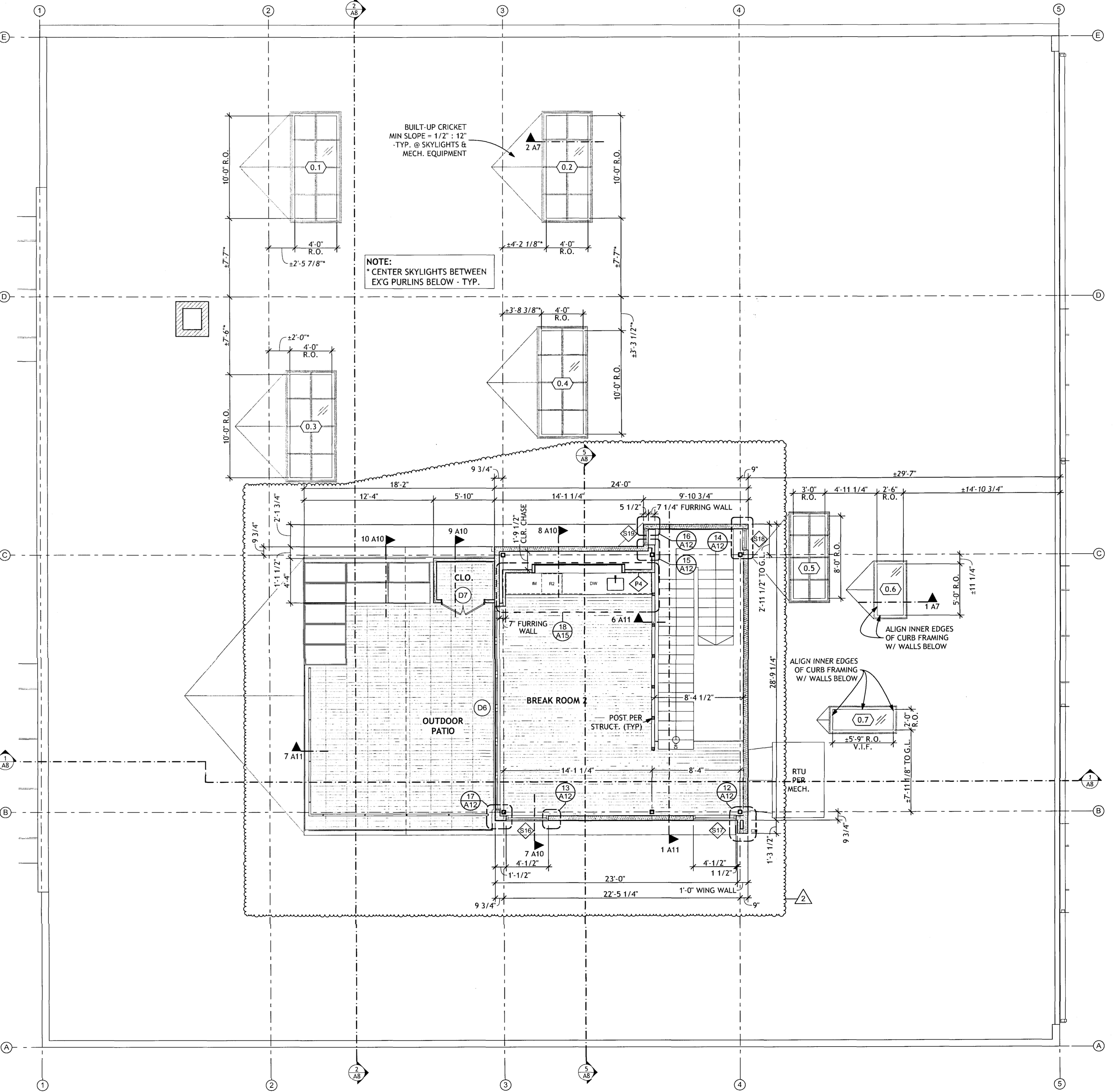


**1 TYP. FLAT SKYLIGHT DETAIL**  
SCALE: 1" = 1'-0"

**PARTIAL UPPER ROOF PLAN**  
SCALE: 3/32" = 1'-0"



**LOWER ROOF PLAN**  
SCALE: 3/32" = 1'-0"



**2ND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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**2600 & 2602 WALNUT**  
2600 Walnut Street,  
Denver, CO 80205

**Date & Phase**  
06.22.2016 - FOR PERMIT & CONSTRUCTION  
08.10.2016 - REVISION  
12.01.2016 - REVISION

**2ND FLOOR + ROOF PLANS**

app. by DW, KK  
SL  
**A7**  
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